

**AGENDA
CARRBORO BOARD OF ALDERMEN
TUESDAY, FEBRUARY 22, 1994
7:30 P.M., TOWN HALL BOARD ROOM**

Approximate Time*

7:30 - 7:35 A. APPROVAL OF MINUTES OF PREVIOUS MEETING: February 8, 1994

7:35 - 7:45 B. RESOLUTIONS, PROCLAMATIONS AND CHARGES

7:45 - 7:55 C. REQUESTS FROM VISITORS AND SPEAKERS FROM THE FLOOR

7:55 - 8:00 D. REQUEST TO RESET PUBLIC HEARING
NP

- (1) **Continuation of Public Hearing/Conditional Use Permit Request/Bel Arbor Subdivision**

The Board of Aldermen at its meeting on February 8, 1994 continued the public hearing on a conditional use permit request for the Bel Arbor Subdivision to tonight's meeting. The applicant for this conditional use permit requested that continuation of this public hearing be postponed until March 1, 1994 due to a conflict with tonight's meeting. The administration requests that continuation of this public hearing be rescheduled for March 1, 1994.

E. PUBLIC HEARING

- (1) **Conditional Use Permit Request/Virginia Pollitzer**

8:00 - 9:00
P/15

7:45
Virginia Pollitzer and Michael Hughes have applied for a conditional use permit that would allow the construction of 26 single-family units on 16.16 acres of land located north of the Cates Farm Subdivision and south of the Wexford Subdivision. The administration recommends approval of the conditional use permit with conditions.

9:00 - 9:10 BREAK

F. OTHER MATTERS

9:10 - 9:25
P/5

- (1) **Transportation Advisory Board's Report on Sidewalks**

The Board of Aldermen directed the TAB to evaluate existing sidewalk conditions at its annual retreat. The TAB has reviewed the current sidewalk conditions as well as the current Sidewalk Policy and believes that changes can be made to the document. The TAB is requesting permission from the Board to review the Sidewalk Policy and make changes.

9:25 - 9:30
NP

(2) Amendment to Town Code/Stop and Through Streets for Springvalley Subdivision

The administration recommends that the Board of Aldermen adopt the attached ordinance amending the Town Code to designate stop and through streets in the Springvalley Subdivision.

9:30 - 9:45
NP

(3) Evaluation of Planning Retreat

The Board of Aldermen requested that an evaluation of the planning retreat be held following this year's retreat. The 1994 Planning Retreat was held on February 13 and 14, 1994 an evaluation was scheduled for tonight's meeting.

9:45 - 9:50
NP

(4) Appointment to Human Services Commission

The chair of the Human Services Commission recommends that Rudolph Gregory be appointed to the Human Services Commission.

9:50 - 10:20
P/5

(5) Identification of New Program Initiatives and Policy Goals for 1994-95

The purpose of this item is to have the Board identify various programs and/or initiatives that it would like to consider as policy goals for the 1994-95 year. The administration will prepare cost estimates for these various items and present them to the Board on March 8th.

10:20 - 10:30 G. MATTERS BY MANAGER

10:30 - 10:40 H. MATTERS BY TOWN ATTORNEY - Request for an Executive Session to Discuss Potential Litigation

10:40 - 10:50 I. MATTERS BY BOARD MEMBERS

*The times listed on the agenda are intended only as general indications. Citizens are encouraged to arrive at 7:30 p.m. as the Board of Aldermen at times considers items out of the order listed on the agenda.

BOARD OF ALDERMEN

ITEM NO. D(1)

AGENDA ITEM ABSTRACT

MEETING DATE: February 22, 1994

SUBJECT: Continuation of a public hearing to consider a CUP that would allow a 30 unit AIS, Bel Arbor Subdivision

DEPARTMENT: Planning	PUBLIC HEARING: YES <u>x</u> NO <u> </u>
Attachment(s): Memorandum from Roy Williford to the Town Manager	For Information Contact: Wayne King 968-7712 Roy Williford 968-7714
The following information is provided: (x) Background (x) Action Requested () Analysis () Alternative (x) Recommendation	

BACKGROUND

Philip Post and Associates, Inc. has applied for a Conditional Use Permit that would allow for the construction of an architecturally integrated subdivision (30 single-family detached units) on 8.259 acres. The property is zoned R-10 and is located on Hillsborough Road near Dillard Street. The parcels are identified as Tax Map 107.B.21A (portion), Tax Map 107.B.21D, and Tax Map 107.B.21E. The minimum lot indicated on the plans will be 5,755 square feet and the maximum lot size indicated on the plans will be 9,700 square feet.

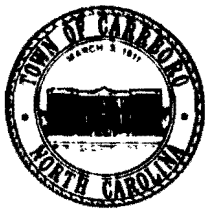
ACTION REQUESTED

Continuation of a public hearing to consider a conditional use permit

RECOMMENDATIONS

Staff recommends approval of the project as presented with the following conditions:

- 1) That prior to the final plat the staff and the Town Attorney approve the homeowners documents and notations on the plat;
- 2) That the total number of lots be reduced from 30 to 28 lots and the square footage of the lots be added to the open space allotment. As a suggestion, staff recommends that lots 26 and 27 be eliminated.
- 3) That the Homeowners Association will be responsible for construction and all associated maintenance of the walkways from the streets to the recreation areas that will be constructed across the street rights of way.



TOWN OF CARRBORO

NORTH CAROLINA

M E M O R A N D U M

TO: Robert W. Morgan
Town Manager

FROM: Roy M. Williford *[Signature]*
Planning & Economic Development Director

DATE: February 10, 1994

RE: Bel Arbor Subdivision

The applicant for the Bel Arbor Subdivision, Phil Post and Associates, requested that the discussion of the Bel Arbor Conditional Use Permit be postponed until the March 01, 1994 Board of Aldermen's meeting. The applicant made this request due to a conflict with the February 22, 1994 meeting date and prior scheduling commitments.

Given this request by the applicant and the Aldermen's request for additional information, I recommend that the Bel Arbor CUP discussion be scheduled for March 01, 1994 instead of February 22, 1994.

RMW/jes

AGENDA ITEM ABSTRACT

MEETING DATE: February 22, 1994

SUBJECT: Consideration of a CUP that would allow a 26 single family detached unit subdivision, Pollitzer Subdivision

DEPARTMENT: Planning	PUBLIC HEARING: YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
Attachment(s): Staff Report Reduced Site Plans Advisory Boards Recommendation CUP Worksheet	For Information Contact: Wayne King 968-7712 Roy Williford 968-7714
The following information is provided: (x) Background (x) Action Requested () Analysis () Alternative (x) Recommendation	

BACKGROUND

Virginia Pollitzer and Michael Hughes have requested a Conditional Use Permit that would allow for the construction of a subdivision (26 single-family detached units) on 16.16 acres to be constructed in 2 phases. The property is zoned R-15 and is located at 108 Autumn Lane, North of Cates Farm Subdivision, South of Wexford Subdivision, East of Wexford Subdivision and Amos Horne Lands and West of Cobblestone Subdivision. The parcels are identified as Tax Map 108..7A and 7B.

ACTION REQUESTED

Consideration of approval of a conditional use permit

RECOMMENDATIONS

Staff recommends approval of the project as presented with the following conditions:

- 1) That prior to final plat approval, the staff and the Town Attorney approve the homeowners documents and notations on the plat;
- 2) That OWASA must approve the water/sewer system proposal made by the applicant on January 26, 1994;
- 3) That Ahren Drive which is a logical continuation from Cates Farm Road be named Cates Farm Road likewise Charleston Drive should be

renamed to Autumn Drive per section 15-223 of the Land Use Ordinance. This matter will need to be addressed prior to final plat approval of this subdivision and the surrounding subdivisions;

- 4) That the applicant submit a petition for voluntary annexation of the entire tract prior to final plat approval.

STAFF REPORT

TO: Board of Aldermen

DATE: February 22, 1994

SUBJECT: Pollitzer - Conditional Use Permit

APPLICANT: Virginia M. Pollitzer
108 Autumn Drive
Chapel Hill, NC 27516 and
Michael M. Hughes. P.E.
126 Cobblestone Drive
Chapel Hill, NC 27516 1.100

PURPOSE: To allow a Subdivision (26 single family units)

EXISTING ZONING: R-15 (Residential)

TAX MAP NUMBER: Tax Map 108..7A and Tax Map 108..7B

LOCATION: 108 Autumn Lane, North of Cates Farm Subdivision, South of Wexford Subdivision, East of Wexford Subdivision and Amos Horne Lands and West of Cobblestone Subdivision.

SIZE: 16.16 acres, 703,930 Square Feet

EXISTING LAND USE: One single family dwelling unit

SURROUNDING LAND USE:

North	R-15 Single-family, Wexford Subdivision
South	R-20 Single-family, Cates Farm Subdivision
East	R-20 Single-family, Cobblestone Subdivision
West	R-20 Single-family, East of Amos Horne Lands and Wexford Subdivision

ZONING HISTORY: 1993 to present zoned R-15
1988 - 1993, R-20
Before 1988 Orange County Jurisdiction, Became Carrboro's jurisdiction as part of the joint planning agreement

PARTICULARLY RELEVANT ORDINANCE SECTIONS

Section 15-196 Active Recreational Areas and Facilities Required

<u>Section 15-203(a)</u>	<u>Fees in Lieu of Active Recreational Areas and Facilities in Usable Open Space</u>
<u>Section 15-210</u>	<u>Streets and Sidewalks</u>
<u>Section 15-220</u>	<u>Public Streets and Private Roads in Subdivisions</u>

BACKGROUND

Virginia Pollitzer and Michael Hughes have requested a Conditional Use Permit that would allow for the construction of a subdivision (26 single-family detached units) on 16.16 acres to be constructed in 2 phases. The property is zoned R-15 and is located at 108 Autumn Lane, North of Cates Farm Subdivision, South of Wexford Subdivision, East of Wexford Subdivision and Amos Horne Lands and West of Cobblestone Subdivision. The parcels are identified as Tax Map 108..7A and 7B.

SPECIAL INFORMATION

This property is an integral piece of the connector roads plan for the adjacent areas. The property represents the missing link in the transportation, Water/Sewer system of the adjacent jurisdiction and Cates Farm, Wexford, Cobblestone subdivisions. The Applicant has included notes to the plans that state the construction sequence/possibilities for the interconnection of streets as well as the utilities. It is the desire of the applicant to provide several options for connection to existing streets and utilities as this property is somewhat dependent on the construction schedule of surrounding subdivisions.

Streets

The applicant is proposing to connect to the street system proposed within surrounding subdivisions. The applicant is proposing to connect to Wexford via a 60 foot public right of way across the Amos Horne property and to South Wyndham Drive via a 50' right of way. The connection to Stafford Drive via the Horne Land will eliminate the hammerhead turn around within the Wexford subdivision and the connection will need to be constructed as a "T" road with a stop sign and not a curve as is shown on the plans. The connection to Wexford at the southern terminus of South Wyndham Drive via a 50 foot right of way and a 26' wide curb and gutter street section. South Wyndham Drive will connect to the 50 foot right of way in the Cates Farm subdivision on Campfire Trail. This subdivision will also connect via a 60 foot right of way to Cates Farm subdivision at Cates Farm Road. The applicant shows a loop connecting from Cates Farm Drive to South Wyndham Drive. The applicant wishes to construct Ahren Drive as a cul-de-sac.

The names of the streets connecting subdivisions should

continue to be the same from one subdivision to another. Staff recommends that Ahren Drive which is a logical continuation from Cates Farm Road be named Cates Farm Road likewise Charleston Drive should be renamed to Autumn Drive. This matter will need to be addressed prior to final plat approval of this subdivision and the surrounding subdivisions.

Utilities

The applicant has redesigned the water/sewer alignment from the plans that were reviewed by Orange Water and Sewer Authority and must resubmit them for OWASA approval. The developer of the Pollitzer property will be able to choose whether to provide sewer service via the proposed manhole in Cates Farm Subdivision or via manhole #12 within the Pollitzer subdivision and the existing sewer easement in the Cobblestone Subdivision. The applicant proposes that if the Cates Farm Subdivision is not constructed at the time that the sewer for the Pollitzer Subdivision is constructed, then the Pollitzer Subdivision may be served (for sewer) entirely through the easement from the Cobblestone Subdivision. Water will be serviced via an existing 8" DI pipe from the Wexford Subdivision. The applicant will connect to existing/proposed waterlines in Cates Farm Subdivision within both streets as well as another connection to Wexford Subdivision via South Wyndham Drive.

Recreation

The Recreation Director has requested that a payment-in-lieu **not** be an option of this subdivision. The applicant will provide active recreation facilities on site (270.14 recreation points) and establish ten per cent of the total recreation points required as children's facilities within this subdivision. The applicant is proposing the use of a children's outdoor activity center as manufactured by Miracle Recreation Equipment Company, Model 168-013.

RECOMMENDATIONS

Staff recommends approval of the project as presented with the following conditions:

- 1) That prior to final plat approval, the staff and the Town Attorney approve the homeowners documents and notations on the plat;
- 2) That OWASA must approve the water/sewer system proposal made by the applicant on January 26, 1994;
- 3) That Ahren Drive which is a logical continuation from Cates Farm Road be named Cates Farm Road likewise Charleston Drive should be renamed to Autumn Drive per section 15-223 of the Land Use Ordinance. This matter

Pollitzer Subdivision, BOARD OF ALDERMEN, 3-1-94

- will need to be addressed prior to final plat approval of this subdivision and the surrounding subdivisions;
- 4) That the applicant submit a petition for voluntary annexation of the entire tract prior to final plat approval.

JOINT REVIEW

Project Summary: Pollitzer Subdivision

Thursday, February 3, 1994

Virginia M. Pollitzer and Michael Hughes, P.E. have requested a conditional use permit that would allow a subdivision of 26 single family detached units to be constructed on 16.16 acres.

AC, PB, TAB, STAFF

- 1) That prior to final plat approval, the staff and the Town Attorney approve the homeowners documents and notations on the plat;

AC, PB, TAB, STAFF

- 2) That the applicant set aside recreation area versus open space area and that the applicant add a minimum of ten per cent of the total recreational points for play apparatus for children under the age of twelve. That the applicant clarify the point system calculation by stating each item, land area for each, and the actual specification of facilities within each;

The applicant has selected a recreation plan that will meet the Town's required recreational point system.

AC, PB, TAB, STAFF

- 3) That the applicant construct the road connection to the Wexford Subdivision in a "T" intersection designed for a stop at Stafford Drive and Autumn/Charleston Drive;

The applicant has modified the plans in accordance with the above recommendation.

AC, PB, TAB, STAFF

- 4) That OWASA must approve the water/sewer system proposal made by the applicant on January 26, 1994;

AC, TAB, STAFF

- 5) That Ahren Drive which is a logical continuation from Cates Farm Road be named Cates Farm Road likewise Charleston Drive should be renamed to Autumn Drive. This matter will need to be addressed prior to final plat approval of this subdivision and the surrounding subdivisions;

AC, PB, TAB, STAFF

- 6) That the applicant subdivide the property in accordance with the attached revised drawing, dated January 28, 1994;

The applicant has modified plans in accordance with the above recommendation.

AC, PB, TAB, STAFF

Pollitzer, Advisory Board review summary

- AC 7) That the applicant submit a petition for voluntary annexation of the entire tract prior to final plat approval; *that the developer be encouraged to indicate that the development is located in Carbas.*
- AC 8) That this applicant consider installation of pathways with no barriers to block access that in the future may be connected to an integral system of pathways within the contiguous open space surrounding this property. That the Appearance Commission recommends that the applicant provide recreation facilities on site rather than payment-in-lieu;
- PB 9) That Ahren Drive, which is a logical continuation from Cates Farm Road, be named Cates Farm Road; and likewise, ✓ Charleston Drive should be renamed to Autumn Drive, if a connection is made. This matter will need to be addressed prior to final plat approval of this subdivision and the surrounding subdivisions;
- TAB 10) That the Transportation Advisory Board recommends approval of the original plans as submitted where Ahren Drive connects Charleston Drive to South Wyndham Drive rather than the revised plans that show Ahren Drive as a cul-de-sac.

Carrboro Appearance Commission

RECOMMENDATION

Thursday, February 3, 1994

Virginia M. Pollitzer and Michael Hughes, P.E. have requested a conditional use permit that would allow a subdivision of 26 single family detached units to be constructed on 16.16 acres.

Ann Leonard moved that the project be approved as presented with the following recommendations: That this applicant consider installation of pathways (with no barriers to block access) that in the future may be connected to an integral system of pathways within the contiguous open space surrounding this property. That the Appearance Commission recommends that the applicant provide recreation facilities on site rather than payment-in-lieu.

Wendy Wenck seconded the motion. The vote was: Ayes, four (4), Giles Blunden, Ann Leonard, Marobeth Ruegg, and Wendy Wenck; Noes, Zero (0); Absent/Excused five (5), Mary Cameron, John Dunkle, Brother Peacemaker, John Van Fleet, and Liz Sherouse, and Liaison, Jay Bryan.

Wendy Wenck for Giles Blunden 2-8-94
Giles Blunden

Chair, Appearance Commission

PLANNING BOARD RECOMMENDATION

February 03, 1994

A. POLLITZER SUBDIVISION - CUP REQUEST

MOTION WAS MADE BY M.C. RUSSELL AND SECONDED BY TOY CHEEK TO RECOMMEND APPROVAL OF THE POLLITZER SUBDIVISION CUP REQUEST WITH THE FOLLOWING CONDITIONS:

1. That prior to final plat approval, the staff and the Town Attorney approve the homeowners documents and notations on the plat.
2. That the applicant set aside recreation area versus open space area and that the applicant add a minimum of ten per cent of the total recreational points for play apparatus for children under the age of twelve. That the applicant clarify the point system calculation by stating each item, land area for each, and the actual specification of facilities within each.
3. That the applicant construct the road connection to the Wexford Subdivision in a "T" intersection designed for a stop at Stafford Drive and Autumn/Charleston Drive.
4. That OWASA must approve the water/sewer system proposal made by the applicant on January 26, 1994.
5. That the applicant subdivide the property in accordance with the attached revised drawing, dated January 28, 1994.
6. That the applicant submit a petition for voluntary annexation of the entire tract prior to final plat approval.
7. That Ahren Drive, which is a logical continuation from Cates Farm Road, be named Cates Farm Road; and likewise, Charleston Drive should be renamed to Autumn Drive, if a connection is made. This matter will need to be addressed prior to final plat approval of this subdivision and the surrounding subdivisions.

VOTE: AFFIRMATIVE 5 (Russell, Efird, Cheek, Rintoul, Leonard);
NOES 1 (High); ABSENT/EXCUSED 3 (Lackey, Richardson, Rodemeir).

Sally Efird, Vice-Chair date

RECOMMENDATION

Ms. Heidi Perry moved that the TAB recommend approval of this project with the staff recommendations with the original plans that were submitted where Arhen Drive connects Charleston Drive to South Wyndham Drive rather than the revised plans which show Arhen Drive as a cul-de-sac. Ms. Ellen Perry seconded the motion.

VOTE: Ayes (Lane, Laudati, E. Perry, H. Perry, Taylor, Zaffron).
Noes (None).

CONDITIONAL OR SPECIAL USE PERMIT WORKSHEET

I. COMPLETENESS OF APPLICATION

- RM*
JB
- ☒ The application is complete.
- ☐ The application is incomplete: off all
- _____
- _____

II. COMPLIANCE WITH THE ORDINANCE REQUIREMENTS

- RM*
JB
off all
- ☒ The application complies with all applicable requirements of Land Use Ordinance
- ☐ The application is not in compliance with all applicable requirements of the Land Use Ordinance for the following reasons: _____
- _____
- _____

III. CONSIDERATION OF PROPOSED CONDITIONS

If the application is granted, the permit shall be issued subject to the following conditions:

- RM*
1-9
JB
all
1. The applicant shall complete the development strictly in accordance with the plans submitted to and approved by this Board, a copy of which is filed in the Carrboro Town Hall. Any deviations from or changes in these plans must be submitted to the Zoning Administrator in writing and specific written approval obtained as provided in Section 15-64 of the Land Use Ordinance.
 2. If any of the conditions affixed hereto or any part thereof shall be held invalid or void, then this permit shall be void and of no effect.

IV. GRANTING THE APPLICATION

- ☐ The application is granted, subject to the conditions agreed upon Section III of this worksheet.

WORKSHEET: CONDITIONAL/SPECIAL USE PERMIT (cont'd)

V. DENYING THE APPLICATION

☐ The application is denied because it is incomplete for the reasons set forth above in Section I.

☐ The application is denied because it fails to comply with the Ordinance requirements set forth above in Section II.

☐ The application is denied because, if completed as proposed, the development more probably than not:

1. Will materially endanger the public health or safety for the following reasons:

2. Will substantially injure the value of adjoining or abutting property for the following reasons:

3. Will not be in harmony with the area in which it is to be located for the following reasons:

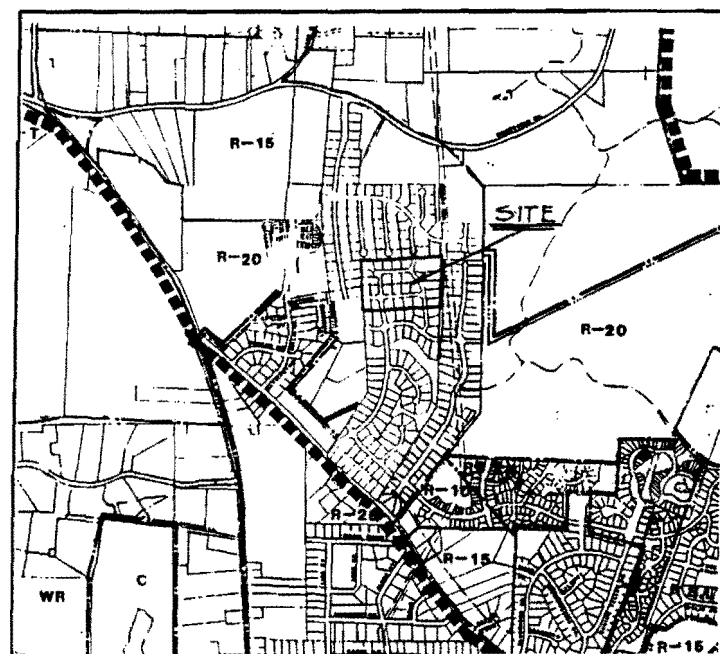
4. Will not be in general conformity with the Land Use Plan, Thoroughfare Plan, or other plans officially adopted by the Board of Alderman for the following reasons:

CONDITIONAL USE PERMIT PLANS FOR THE VIRGINIA M. POLLITZER PROPERTY CARRBORO, NORTH CAROLINA

RECEIVED

FEB 17 1994

TOWN OF CARRBORO
ZONING DIVISION



LOCATION MAP
Scale 1"=1200'
Approximate

Owner :
Virginia M. Pollitzer
108 Autumn Drive
Chapel Hill, NC 27516
(919) 929-9866

Engineer :
Michael M. Hughes, P.E.
126 Cobblestone Drive
Chapel Hill, NC 27516
(919) 967-2800

PROJECT INFORMATION

TRACT INFORMATION:

Size..... 16.16 Acres (703,930 Square Feet)
TAX MAP REFERENCE: 7.108..7A
108 Autumn Drive
CURRENT PROPERTY ZONING: R-15 ----> 15,000 Square Feet/Lot
Maximum Number of lots Allowed ----> 47

BUILDING SETBACK REQUIREMENTS:

Zone	Street Right-of-Way	Street Centerline	Side	Rear
R-15	15 Ft.	65 Ft.	20 Ft.	20 Ft.

SUBDIVISION LOT STATISTICS:

Number of lots 26
Phase One 5, Phase Two 7
Phase Three 8, Phase Four 6
Subdivision Type Standard
Average Lot Size 20,062 Square Feet
Minimum Lot Size 15,470 Square Feet
Maximum Lot Size 36,575 Square Feet
Total Land Area Consumed in Lots 521,620 Square Feet
Total Land Area Consumed by Street ROW 114,560 Square Feet

OPEN SPACE REQUIRED:

Basic (Land Use Ordinance Sec. 15-198) :
16.16 Acres x 5.0 % = 0.808 Acres
= 35,196 Square Feet

OPEN SPACE PROVIDED: 67,750 Square Feet Gross (1.56 Acres)
Minus (15,920) Square Feet Sever Easement
Minus (2,500) Square Feet Recreation Lot
49,330 Square Feet Net (1.13 Acres)

RECREATION POINTS REQUIRED:

26 Lots x 10.39 Points/Lot = 270.14

RECREATION POINTS PROVIDED: 270.14

Recreation facilities shall consist of a childrens outdoor activity center as manufactured by Miracra Recreation Equipment Company, Model 168-013, or equivalent if approved in advance by the Recreation Director of the Town of Carrboro. The center shall be installed on an appropriately graded and cleared area as shown on the drawings with an energy adsorbing surface recommended by the manufacturer and approved in advance by the Recreation Director of the Town of Carrboro.

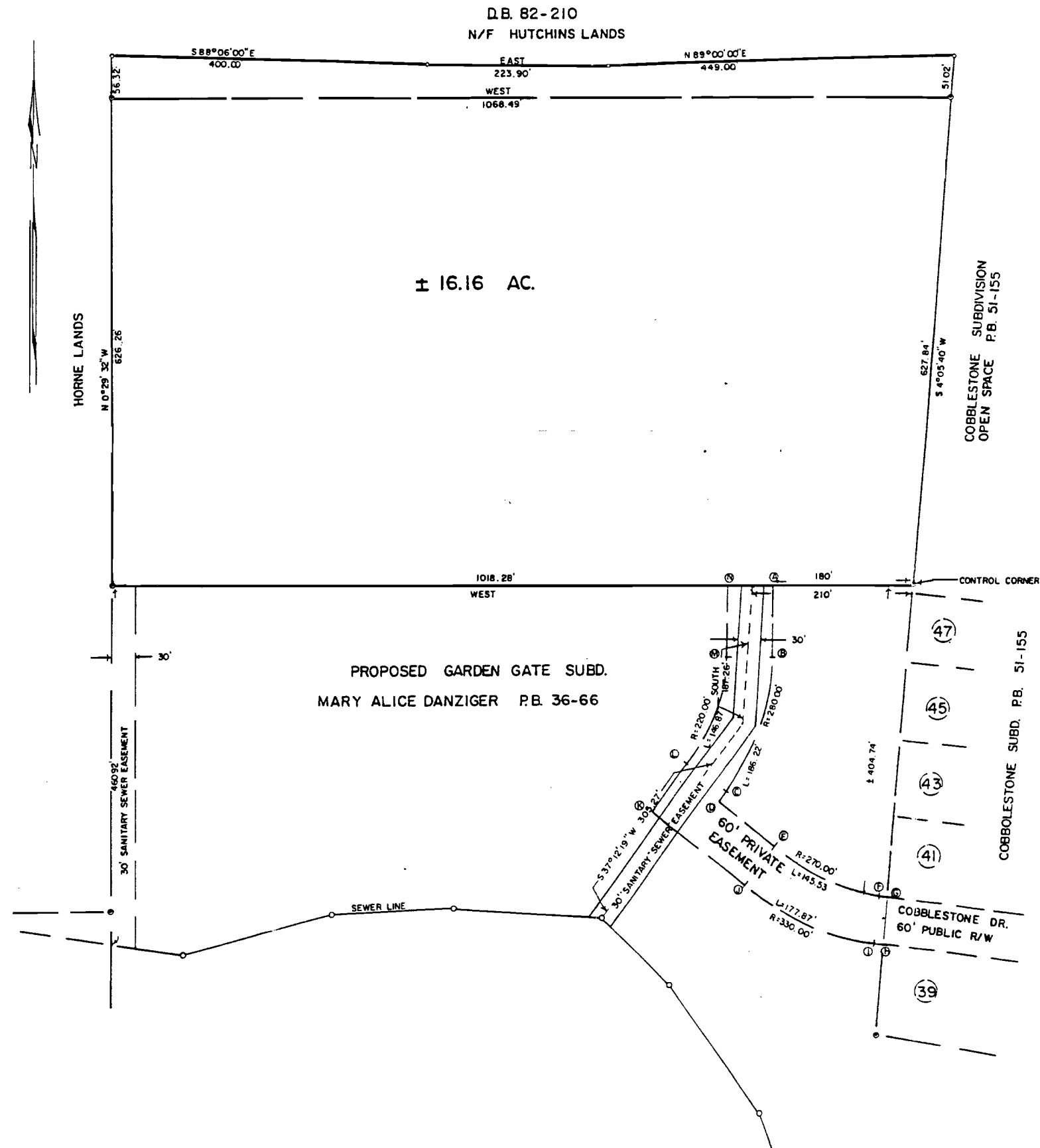
STREET INFORMATION:

Street	ROW Width	Pavement		Public	Sidewalk	Classification
		Width	Material			
Cates Farm Road	60	34'	G-G	Yes	Yes	Collector
Autumn Drive (Portion of...)	60	34'	G-G	Yes	Yes	Collector
Autumn Drive (Portion of...)	60	34'	G-G	Yes	Yes	Sub-collector
Saratford Drive (Extension)	60	34'	G-G	Yes	Yes	Collector
Wyndham Drive (Extension)	60	34'	G-G	Yes	Yes	Sub-collector
Cates Farm Road	50	24'	G-G	Yes	Yes	Local

DRAWING INDEX:

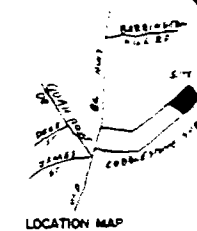
Sheet	Title
Plat	Boundary Survey - Property of VIRGINIA POLLITZER
OV-1	ADJOINING SUBDIVISIONS AND ROAD SYSTEMS
SP-1	DETAILED SITE PLAN
UP-1	WATER, SEWER, AND STREET LIGHT UTILITY PLAN
SW-1	STORMWATER MANAGEMENT PLAN
TR-1	EXISTING TREES 18" IN DIAMETER OR GREATER, AND SITE CLEARING AND GRADING PLAN
O-1	SIGN PLAN
O-2	CONSTRUCTION DETAILS

INITIAL SUBMITTAL 12/1/93
REVISED SUBMITTAL 1/25/94
REVISED SUBMITTAL 2/15/94



LEGEND:
 * EXISTING IRON PIN
 o IRON PIN SET
 o MANHOLE

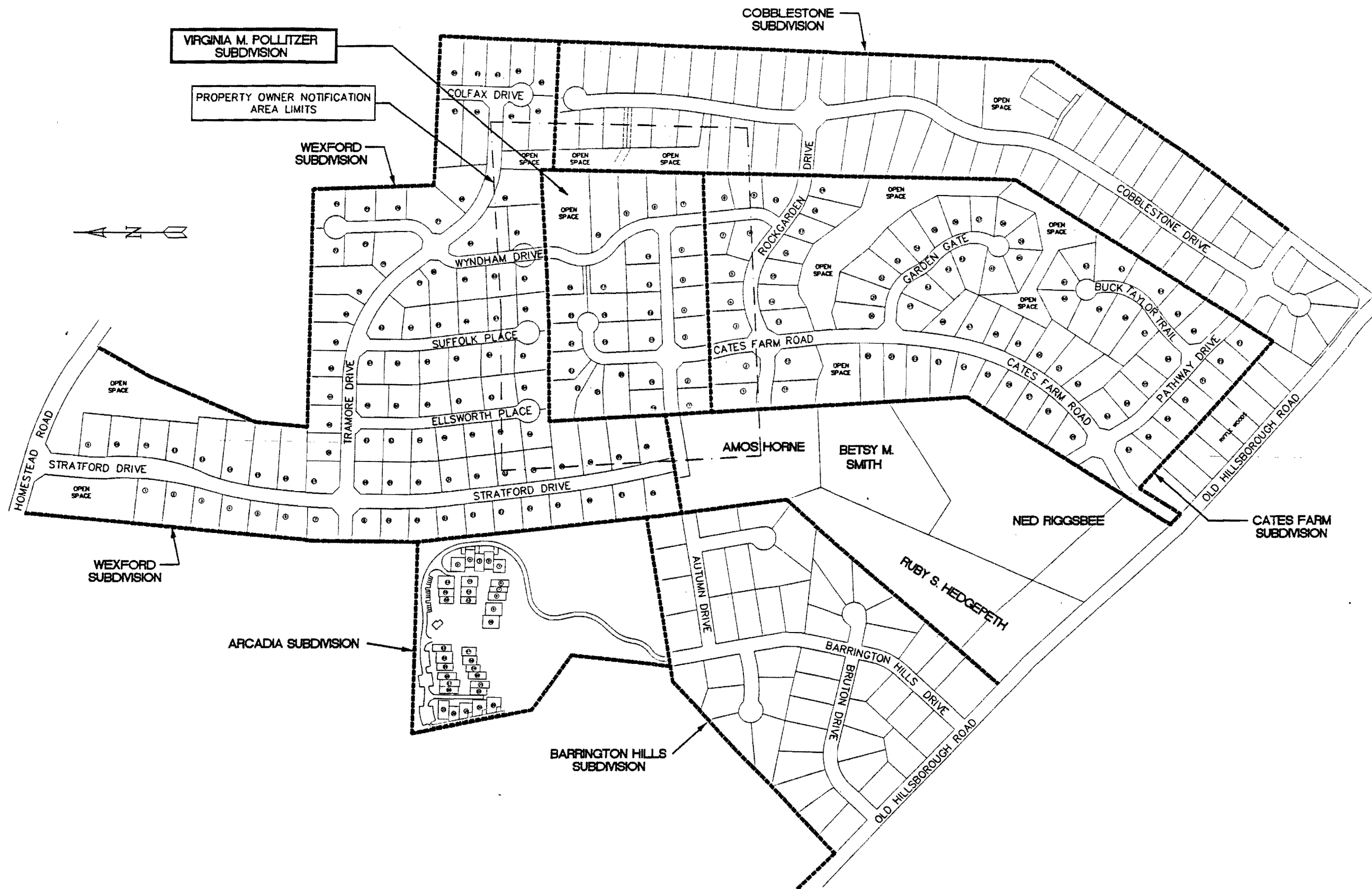
EASEMENT DATA TABLE	
A-B	SOUTH 100.57'
B-C	CH=S19°07'29\"W 183.47'
C-D	S38°14'58\"W 14.86'
D-E	S51°45'02\"E 98.58'
E-F	CH=S67°11'30\"E 143.78'
F-G	S82°37'50\"E 10.64'
G-H	S04°04'54\"W 60.10'
H-I	N82°37'50\"W 14.08'
I-J	CH=N67°11'30\"W 175.73'
J-K	N51°45'02\"W 158.58'
K-L	N38°14'58\"E 74.86'
L-M	CH=N19°07'29\"E 144.16'
M-N	NORTH 100.57'
N-A	EAST 60.00'



Dale D. Faulkner
 5-29-91
 Checked February
 SEPT 22, 1981

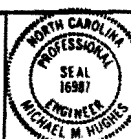
PROPERTY OF:
VIRGINIA POLLITZER
 CHAPEL HILL TWP ORANGE CO.
 CHAPEL HILL NORTH CAROLINA
 MAY 21, 1991 SCALE: 1" = 100'
 100 50 0 100 200 300
 OWNER: 108 AUTUMN DR., CHAPEL HILL, N.C.

DALE D. FAULKNER R.L.S. L-2176
 3107 JONES FERRY ROAD
 CHAPEL HILL, N.C. 27516



PRELIMINARY DRAWING
TO BE USED FOR
CONDITIONAL USE PERMIT
REVIEW

NO.	REVISIONS	DATE
1	Modified per comments from town letter dated 1/21/94	01/25/94
2	Eliminated Ahren as a Loop Road	01/26/94
3	Modified Ahren Cul-de-Sac Alignment	01/27/94
4	Updated with Carrboro Advisory Board Recommendations	02/15/94



Engineering by:
Michael M. Hughes, P.E.
126 Cobblestone Drive
Chapel Hill, NC 27516
Telephone: 967-2800

VIRGINIA M. POLLITZER PROPERTY ADJOINING SUBDIVISIONS AND ROAD SYSTEMS

DRAWN BY MMH
DESIGNED BY MMH
DATE 12/1/93
SCALE 1"=200'

Owner:
VIRGINIA M. POLLITZER
SHEET
OV-1

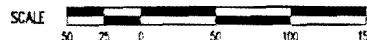
LEGEND

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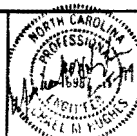
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WEXFORD SUBDIVISION - PHASE 3

NOTE: THE ENTIRE PROPERTY IS WOODED WITH THE EXCEPTION OF A NARROW DRIVEWAY WHICH EXTENDS FROM AUTUMN DRIVE TO THE NORTH SIDE OF THE EXISTING HOUSE



NO.	REVISIONS	DATE
1	Modified per comments from Town letter dated 1/21/94	01/25/94
2	Eliminated Ahren as a Loop Road	01/26/94
3	Modified Ahren Cul-de-Sac Alignment	01/27/94
4	Updated with Carrboro Advisory Board Recommendations	02/15/94



Engineering by:
Michael M. Hughes, P.E.
 126 Cobblestone Drive
 Chapel Hill, NC 27516
 Telephone: 967-2800

VIRGINIA M. POLLITZER PROPERTY OVERALL SITE PLAN

DRAWN BY: MMH
 DESIGNED BY: MMH
 DATE: 12/1/93
 SCALE: 1"=60'

Owner:

VIRGINIA M. POLLITZER

SHEET
 SP-1

- NOTES:**
- 1) ACCORDING TO THE POLICY OF THE TOWN OF CARRBORO, THE STORMWATER CONVEYANCE FACILITIES SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION CREATED FOR THE PROPERTY OF VIRGINIA M. POLLITZER.
 - 2) THE SEWER EASEMENTS SHALL BE MAINTAINED BY OWASA.
 - 3) A DETAIL ON SHEET D-2 OF THIS SET SHOWS THE STANDARD DIMENSIONS OF THE COLLECTOR, SUB-COLLECTOR (AND LOCAL STREETS SPECIFIED IN THE DESIGN STANDARDS BY THE TOWN OF CARRBORO.
 - 4) PRIOR TO ACCEPTANCE OF THE STREETS BY THE TOWN OF CARRBORO, BIKE LANES SHALL BE PAINTED ON BOTH SIDES OF STRATFORD, CHARLESTON, AND CATES FARM DRIVES.
 - 5) THE TRAFFIC ISLAND IN AHERN DRIVE SHALL BE CONSTRUCTED WITH A 45 DEGREE MOUNTABLE CURB.
 - 6) RECREATION FACILITIES SHALL CONSIST OF A CHILDRENS OUTDOOR ACTIVITY CENTER AS MANUFACTURED BY MIRACLE RECREATION EQUIPMENT COMPANY, MODEL 188-013, OR EQUIVALENT IF APPROVED IN ADVANCE BY THE RECREATION DIRECTOR OF THE TOWN OF CARRBORO. THE CENTER SHALL BE INSTALLED ON AN APPROPRIATELY GRADED AND CLEARED AREA AS SHOWN WITH AN ENERGY ADSORBING SURFACE RECOMMENDED BY THE MANUFACTURER AND APPROVED IN ADVANCE BY THE RECREATION DIRECTOR OF THE TOWN OF CARRBORO.

PRELIMINARY DRAWING
 TO BE USED FOR
 CONDITIONAL USE PERMIT
 REVIEW

LEGEND	
---	EXISTING CONTOUR LINE
---	PROPOSED REGRADED CONTOUR LINE
---	4" SEWER SERVICE
---	WATER METER SERVICE CONNECTION
○	SEWER MANHOLE AND PIPE
○	GATE VALVE AND WATER PIPE
⊙	STREET LIGHT
⊙	FIRE HYDRANT

WEXFORD SUBDIVISION - PHASE 3

WEXFORD SUBDIVISION
PHASE 2

WEXFORD SUBDIVISION
PHASE 4

WEXFORD SUBDIVISION
PHASE 5

WEXFORD SUBDIVISION
PHASE 6

COBBLESTONE SUBDIVISION

CATES FARM SUBDIVISION

AMOS HORNE LANDS

DEVELOPER OF THE POLLITZER PROPERTY IS TO TIE THE WATER LINE INTO THE LINE INSTALLED AT THE COMMON BOUNDARY WITH THE WEXFORD SUBDIVISION.

THE END OF THE ROAD CONSTRUCTION IN WEXFORD PHASE 3. THE DEVELOPER OF THE POLLITZER PROPERTY IS RESPONSIBLE FOR THE DEVELOPMENT OF THE HANMER HEAD TURN AROUND, REMOVAL OF THE TRAFFIC BARRICADE, AND CONSTRUCTION OF THE OFFSITE PORTION OF CHARLESTON DRIVE AND ITS CONNECTION TO STRATFORD DRIVE AT THIS POINT, ACCORDING TO THE CONSTRUCTION STANDARDS, POLICIES AND PROCEDURES OF THE TOWN OF CARBORO.

DEVELOPER SHALL REMOVE THE 2" BLOWOFF FROM THE END OF THE EXISTING 8" DI WATER LINE AND RELOCATE IT TO THIS LOCATION.

THE DEVELOPER OF THE POLLITZER PROPERTY IS RESPONSIBLE FOR THE STREET AND UTILITY CONSTRUCTION IN THIS PUBLIC EASEMENT WHICH IS OFFSITE OF THE POLLITZER PROPERTY.

DEVELOPER OF THE POLLITZER PROPERTY IS TO TIE THE WATER LINE INTO THE LINE INSTALLED AT THE COMMON BOUNDARY WITH THE CATES FARM SUBDIVISION.

DEVELOPER OF THE POLLITZER PROPERTY IS TO TIE THE WATER LINE INTO THE LINE INSTALLED AT THE COMMON BOUNDARY WITH THE CATES FARM SUBDIVISION.

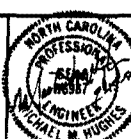
PROPOSED MANHOLE CATES FARM SUBDIVISION

THE DEVELOPER OF THE POLLITZER PROPERTY WOULD BE ABLE TO CHOOSE WHETHER TO PROVIDE SEWER SERVICE TO PHASE ONE VIA THE PROPOSED MANHOLE IN CATES FARM OR VIA MH-12 AS SHOWN. IF THE CATES FARM SUBDIVISION IS DEVELOPED PRIOR TO THE POLLITZER TRACT THEN IT MAY BE PREFERABLE TO USE THE PROPOSED MANHOLE AND ABANDON THE OWASA SEWER EASEMENTS BETWEEN LOTS 7 AND 8. ON THE OTHER HAND, IF CATES FARM IS NOT DEVELOPED BEFORE THE POLLITZER TRACT, THEN THE POLLITZER TRACT SEWER REQUIREMENTS CAN BE SERVED ENTIRELY THROUGH THE OWASA EASEMENT ACROSS THE COBBLESTONE SUBDIVISION.

- NOTES
- 1) ALL WATER DISTRIBUTION AND SEWER COLLECTION SYSTEMS ARE TO BE INSTALLED IN ACCORDANCE WITH THE ORANGE WATER AND SEWER AUTHORITY (OWASA) STANDARDS, SPECIFICATIONS, DETAILS, AND POLICIES.
 - 2) ALL SEWER MANHOLES, AND MANHOLE COVERS SHALL BE LOCATED IN THE ASPHALT PORTION OF THE ROADWAY IN ACCORDANCE WITH OWASA STANDARDS.
 - 3) ALL MANHOLES SHALL HAVE RUBBER BOOTS IN ACCORDANCE WITH OWASA STANDARDS.
 - 4) ALL MANHOLE COVERS AND VALVE BOXES SHALL HAVE CONCRETE COLLARS IN ACCORDANCE WITH OWASA STANDARDS AND TOWN OF CARBORO STANDARDS.
 - 5) ALL UTILITIES (INCLUDING GAS, ELECTRIC, TELEPHONE, CABLE TV, AND WATER AND SEWER) SHALL BE LOCATED UNDERGROUND AND PLACED WITHIN THE STREET RIGHT-OF-WAY ACCORDING TO THE CARBORO LAND USE ORDINANCE. A DETAIL ON SHEET 0-2 OF THIS SET SHOWS THE LOCATION OF THESE UTILITIES.
 - 6) STREET LIGHTS SHALL BE INSTALLED PER THE TOWN SPECIFICATIONS.

SCALE 1"=80'

NO.	REVISIONS	DATE
1	Modified per comments from town letter dated 1/21/94	01/25/94
2	Eliminated Ahren as a Loop Road	01/26/94
3	Modified Ahren Cul-de-Sac Alignment	01/27/94
4	Updated with Carboro Advisory Board Recommendations	02/15/94



Engineering by:
Michael M. Hughes, P.E.
126 Cobblestone Drive
Chapel Hill, NC 27516
Telephone: 967-2800

VIRGINIA M. POLLITZER PROPERTY
WATER, SEWER AND STREET LIGHT
UTILITY PLAN

DRAWN BY MMH
DESIGNED BY MMH
DATE 12/1/93
SCALE 1"=80'

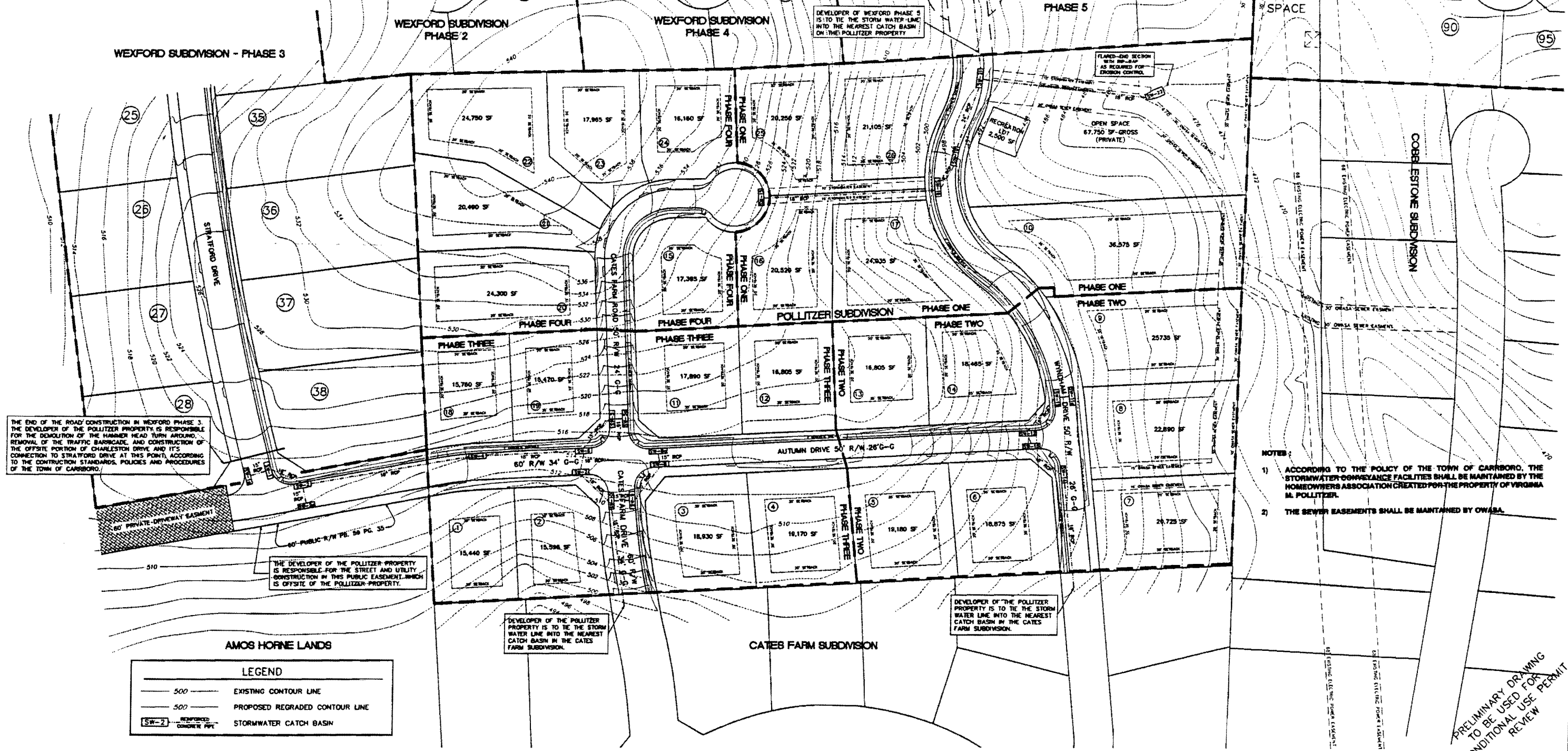
Owner:
VIRGINIA M. POLLITZER

PRELIMINARY DRAWING
TO BE USED FOR
CONDITIONAL USE PERMIT
REVIEW

SHEET
UP-1

POLLITZER SUBDIVISION
STORMWATER AND PIPE STRUCTURE DATA

Upstream Structure	Downstream Structure	Length	Rise Elevation	Fall Elevation	Design Flow CFS	Minimum Capacity CFS	Maximum Capacity CFS
SW-1	SW-2	60	518.0	517.0	3.114	8.516	4.402
SW-2	SW-3	220	517.0	515.0	3.079	9.829	4.861
SW-3	SW-4	130	515.0	514.0	3.113	9.143	5.029
SW-4	SW-5	55	514.0	514.0	3.113	11.045	11.045
SW-5	SW-6	34	514.0	514.0	3.113	12.041	12.041
SW-6	SW-7	35	514.0	510.0	3.063	29.816	22.688
SW-7	SW-8	35	514.0	510.0	3.063	18.325	14.806
SW-8	SW-9	34	510.0	510.0	3.063	7.773	4.260
SW-9	SW-10	300	510.0	486.0	3.063	29.483	18.199
SW-10	SW-11	30	501.8	498.0	2.340	15.410	4.170
SW-11	SW-12	26	503.0	497.5	4.072	8.889	4.797
SW-12	SW-13	30	503.0	497.0	4.318	10.424	8.908
SW-13	SW-14	30	503.0	496.5	4.044	21.805	17.331
SW-14	SW-15	35	496.0	495.0	4.989	9.599	4.999
SW-15	SW-16	35	495.0	492.5	4.989	14.435	2.238
SW-16	SW-17	100	495.0	493.0	12.167	26.887	26.720
SW-17	SW-18	200	495.0	493.0	21.908	27.847	5.911
SW-18	SW-19	220	495.0	478.0	33.458	30.205	16.745



LEGEND

500	EXISTING CONTOUR LINE
500	PROPOSED REGRADED CONTOUR LINE
SW-2	STORMWATER CATCH BASIN

- NOTES:
- 1) ACCORDING TO THE POLICY OF THE TOWN OF CARRBORO, THE STORMWATER-OMNEXANCE FACILITIES SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION CREATED FOR THE PROPERTY OF VIRGINIA M. POLLITZER.
 - 2) THE SEWER EASEMENTS SHALL BE MAINTAINED BY OWASA.

PRELIMINARY DRAWING
TO BE USED FOR
CONDITIONAL USE PERMIT
REVIEW

NO.	REVISIONS	DATE
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2	Modified Ahren Cul-de-Sac Alignment	01/27/94
3	Updated with Carrboro Advisory Board Recommendations	02/15/94
4		



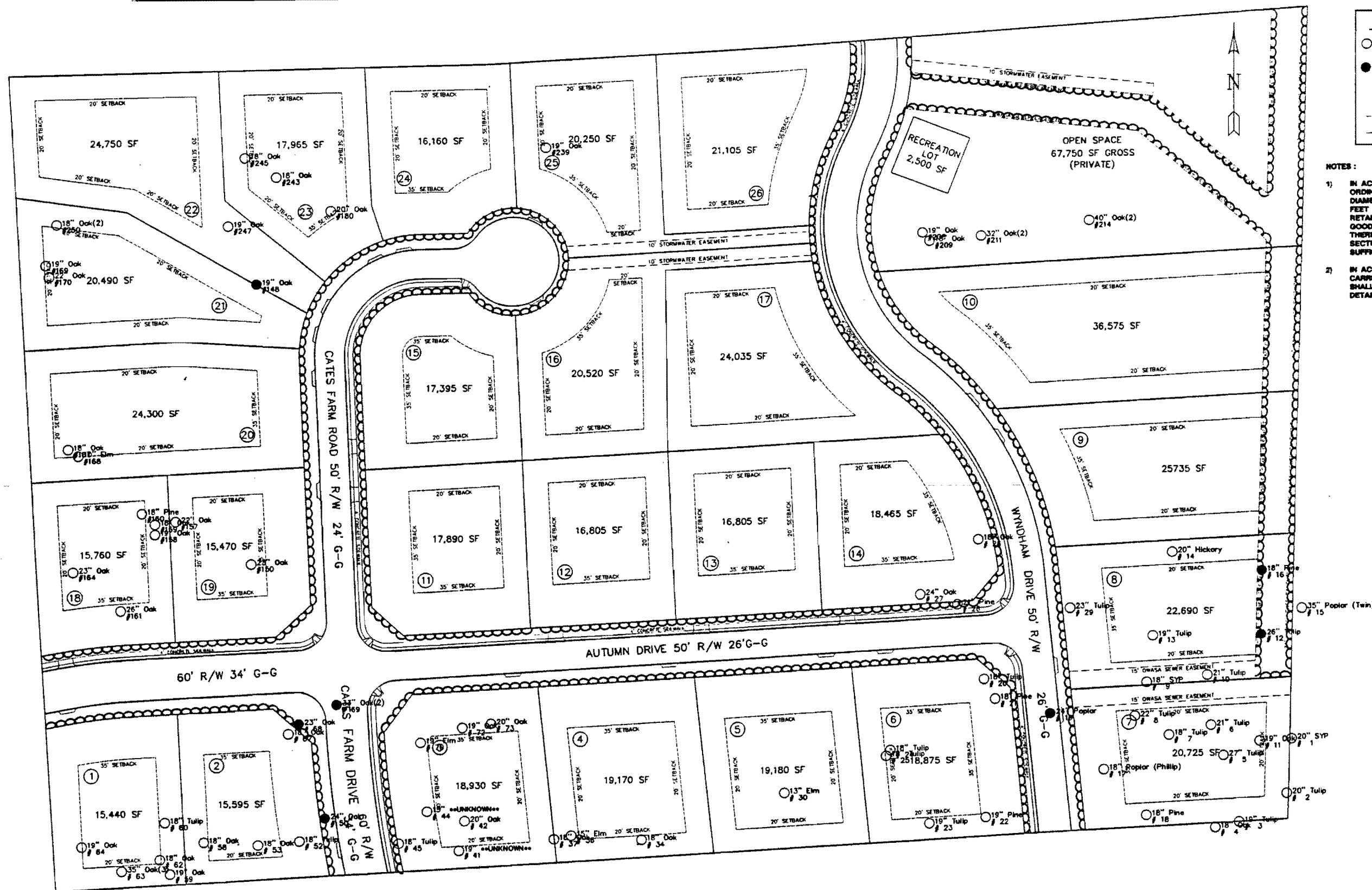
Engineering by:
Michael M. Hughes, P.E.
126 Cobblestone Drive
Chapel Hill, NC 27516
Telephone: 967-2800

VIRGINIA M. POLLITZER PROPERTY
STORMWATER MANAGEMENT PLAN

DRAWN BY: MMH
DESIGNED BY: MMH
DATE: 12/1/93
SCALE: 1"=60'

Owner: VIRGINIA M. POLLITZER

SHEET
SW-1



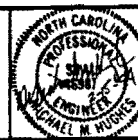
LEGEND	
○ 18" Poplar (Philip)	TREE DIAMETER AND SPECIES
● 17	INVENTORY NUMBER
○ 18" Poplar (Philip)	TREE TO BE REMOVED
---	CLEARING AND GRADING LIMITS
---	EXISTING CONTOUR LINE
---	PROPOSED REGRADED CONTOUR LINE

- NOTES:
- 1) IN ACCORDANCE WITH SECTION 15-315 OF CARRBORO'S LAND USE ORDINANCE THERE SHALL BE ONE DECIDUOUS TREE, WITH A TRUNK DIAMETER OF 12 INCHES WHEN FULLY MATURE, FOR EVERY THIRTY FEET OF STREET FRONTAGE. EVERY EFFORT SHALL BE MADE TO RETAIN EXISTING TREES WHICH ARE HEALTHY, DISEASE-FREE, AND IN GOOD CONDITION FOR THE TOWN STREET TREE REQUIREMENT. WHERE THERE ARE AN INADEQUATE AMOUNT OF EXISTING TREES, PER THE SECTION 15-315 OF THE ORDINANCE, THE DEVELOPER SHALL PLANT SUFFICIENT NEW TREES TO MEET THE TOWN'S REQUIREMENT.
 - 2) IN ACCORDANCE WITH THE LAND USE ORDINANCE OF THE TOWN OF CARRBORO, SECTIONS 15-316 AND 15-316, TREES TO BE RETAINED SHALL BE PROTECTED DURING CONSTRUCTION. A TREE PROTECTION DETAIL IS SHOWN ON SHEET 0-2 OF THIS DRAWING SET.

NOTE: CLEARED AREA = 3.24 AC

PRELIMINARY DRAWING
TO BE USED FOR
CONDITIONAL USE PERMIT
REVIEW

NO.	REVISIONS	DATE
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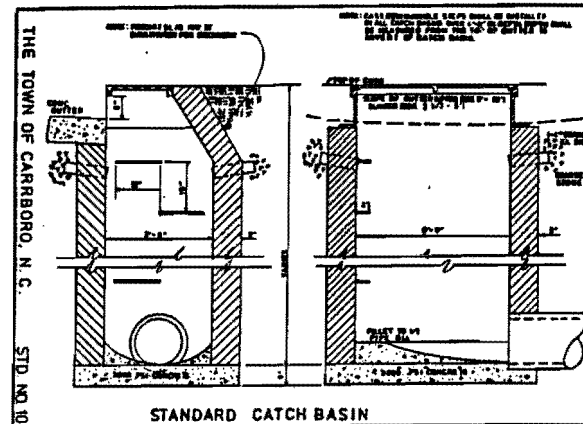
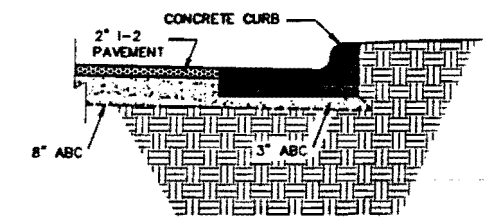
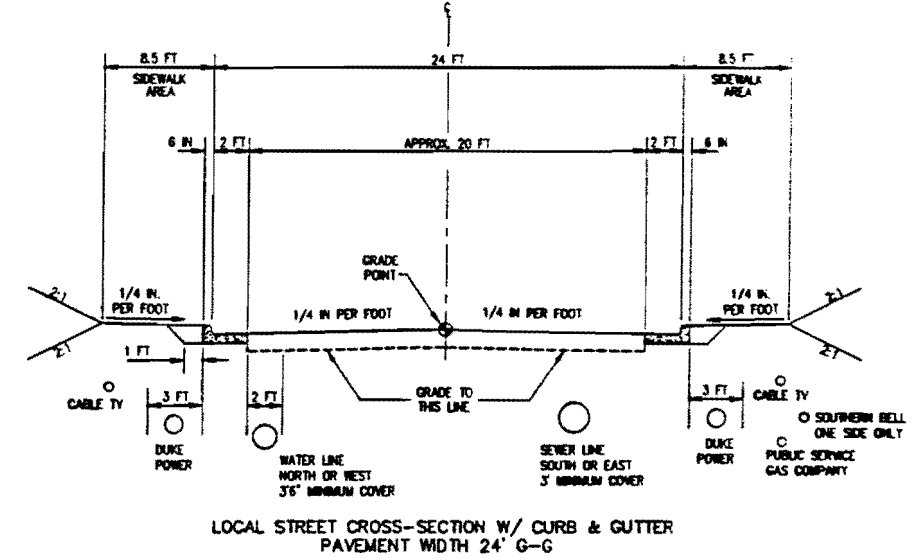
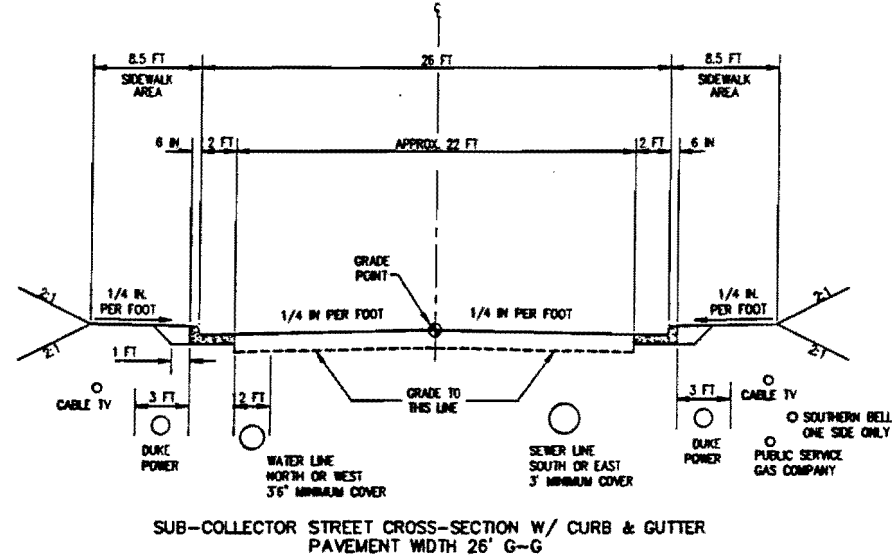
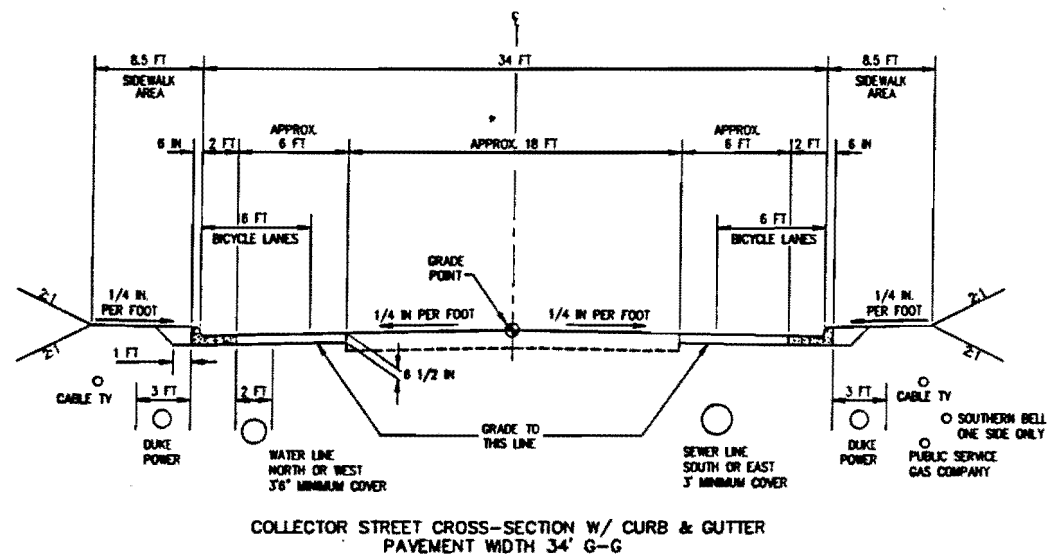
Engineering by:
Michael M. Hughes, P.E.
126 Cobblestone Drive
Chapel Hill, NC 27516
Telephone: 967-2800

VIRGINIA M. POLLITZER PROPERTY
EXISTING TREES - 18" DIAMETER OR GREATER
SITE CLEARING AND GRADING PLAN

DRAWN BY MMH
DESIGNED BY MMH
DATE 12/1/93
SCALE 1"=40'

Owner: VIRGINIA M. POLLITZER

SHEET
TR-1



SPECIFICATIONS FOR DESIGN AND CONSTRUCTION (AMENDED 04/03/90)

C-5. Clearing and Grubbing

Clearing and grubbing shall be performed within the limits shown on the plans. All timber, brush, roots, stumps, trees, or other vegetation cut during the clearing operations shall become the contractor's responsibility to dispose of, and shall be either removed from the project by him, or satisfactorily disposed of on-site (See Carrboro Fire Department for burning permit).

C-6. Grading and Connection

Streets shall be graded in accordance with the lines and grade set by the engineer. Before placing curb and gutter or base on the graded subgrade, the subgrade shall be compacted to 100% AASHTO T99 for a depth of 6 inches and then shall be proof rolled in the presence of the engineer. Places that are found to be loose, or soft, or composed of unsuitable materials, whether in the subgrade or below it, must be dug out and refilled with suitable material. All embankments or fills shall be made in one-foot horizontal lifts of suitable material. The fill shall be rolled with a sheepfoot roller after each lift, followed by a wheel roller, each weighing not less than eight tons.

C-7. Street Base

Base courses for streets shall generally be 8 inches thick, unless otherwise directed by the public works director, and shall be crushed stone conforming to N.C. DOT Type ABC stone. The stone base course shall be placed in 4 inch layers watered as necessary, and compacted to 100% AASHTO T99. The contractor shall be responsible for keeping the stone base free of contamination from clay or other foreign materials. Handling and placement of stone base shall all be in accordance with N.C. DOT specifications.

C-8. Street Surfaces

The asphalt surface course shall meet N.C. DOT specs for Type 1-2 asphalt. The asphalt shall be placed in one 2-inch layer, and shall be handled and placed in accordance with N.C. DOT specifications.

C-9. Pavement Section Variations

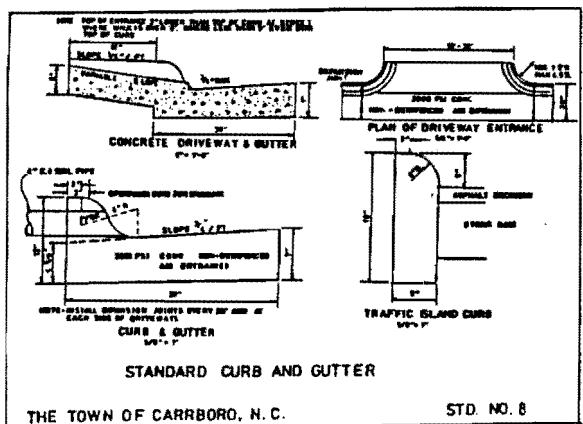
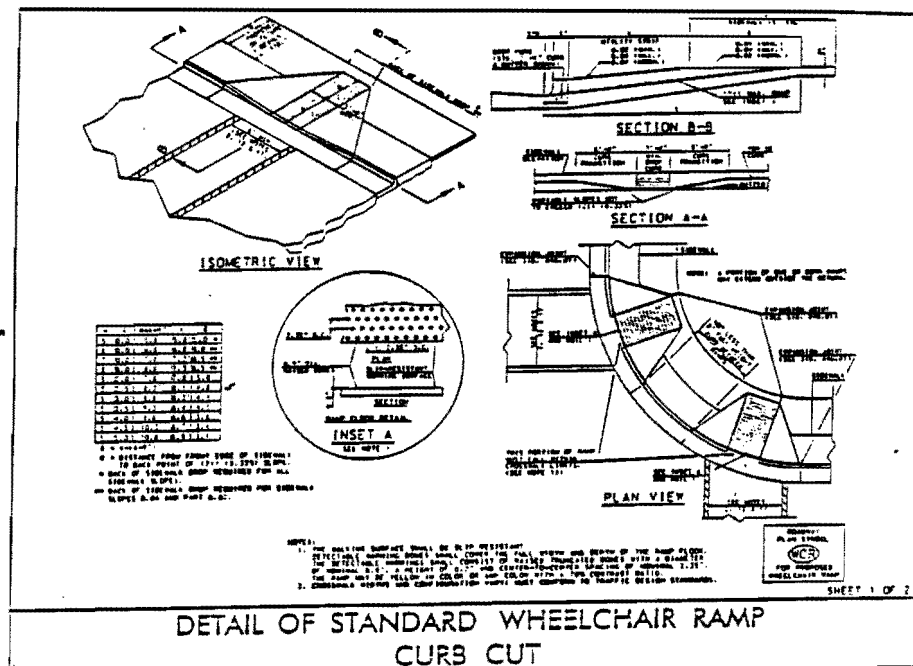
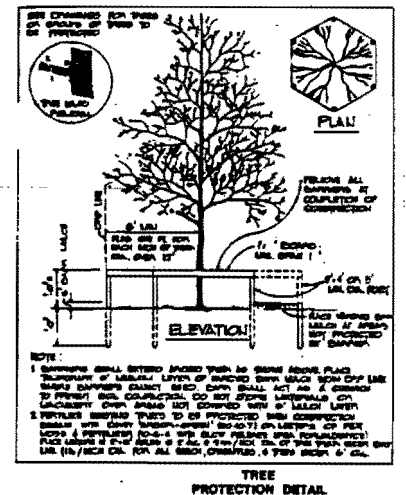
Sections C-6, C-7, and C-8 set the standards that shall apply under normal soil conditions. However, where soils are unusually good or unusually unstable, the public works director may allow or require the developer to have soil tests run and a pavement design made by a qualified soils engineer. Under these circumstances, the public works director may allow pavement sections constructed to lesser standards than those set forth above (for good soils) or require pavement sections constructed to greater standards than those set forth above (for unstable soils).

C-11. Curb and Gutter

(a) The concrete curb and gutter shall be constructed according to the lines and grades established by the engineer. The concrete shall meet the N.C. State Highway Requirements, Section 900. The curb and gutter shall be 30 inches wide, and shall have a vertical curb face. The forms shall be of metal, free of marks or kinks, and shall be rigidly held in position. The engineer shall approve the positioning of the forms before concrete is poured. The concrete shall be placed in the forms in a manner to prevent segregation, and tamped or vibrated sufficiently to prevent honeycombs. The concrete shall be finished smooth and even by means of rollers or floats. Expansion joints shall be provided every 10 feet, and false joints every 10 feet.

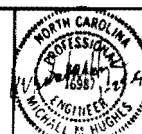
C-12. Sidewalks

Sidewalk construction shall be similar to street construction, with subgrade compacted to 100% AASHTO T99. Concrete sidewalks shall be 4 inches thick (increasing to 6 inches thick at driveway entrances), and shall be at least 4 feet wide. Expansion joints shall be provided every 30 feet; false joints at 10 feet.



PRELIMINARY DRAWING
TO BE USED FOR
CONDITIONAL USE PERMIT
REVIEW

NO.	REVISIONS	DATE
1	Modified per comments from Town letter dated 1/21/94	01/25/94
2		
3		
4		



Engineering by:
Michael M. Hughes, P.E.
126 Cobblestone Drive
Chapel Hill, NC 27516
Telephone: 967-2800

VIRGINIA M. POLLITZER PROPERTY
ROAD CONSTRUCTION, TREE PROTECTION
AND STORMWATER/SEWER CONSTRUCTION DETAILS

DRAWN BY	MMH
DESIGNED BY	MMH
DATE	12/1/93
SCALE	As Noted

Owner:
VIRGINIA M. POLLITZER

SHEET
0-2

COLONIAL VILLAGE DESIGN INFORMATION
Property of: VIRGINIA M. POLLITZER

<i>Number of Lots ...</i>	<i>40 (preliminary)</i> <i>Maximum Number of Lots Allowed --> 47</i>
<i>Average Lot Size ...</i>	<i>9,500 Square Feet (preliminary)</i>
<i>Minimum</i>	<i>4,000 Square Feet (preliminary)</i>
<i>Maximum...</i>	<i>24,000 Square Feet (preliminary)</i>
<i>Open Space ...</i>	<i>4.81 Acres, 209,600 Square Feet, (29.7%)</i>
<i>Design Criteria...</i>	<i>Colonial Williamsburg Motif</i> <i>Pedestrian Scale Streets and Sidewalks</i> <i>Off Street Parking in garages accessed via Alleys</i> <i>Provide a Range of Housing from 1,200 Square Feet to</i> <i>3,000+ Square Feet</i>
<i>Items Which Are</i> <i>Key to the Project ...</i>	<i>Streetscape appearance</i> <i>Restrictive Covenants, maintaining colonial appearance</i> <i>and quality of construction</i> <i>Landscaping on common areas and private lots</i>
<i>Market</i> <i>Challenges ...</i>	<i>Create an Environment which distinguishes it from other subdivisions</i> <i>Reluctance to mix houses which vary greatly in size and cost</i> <i>in the same neighborhood</i> <i>Lack of comparable lots and houses in same price range</i> <i>Banking and real estate ratios applied to house construction</i>
<i>Land Use Ordinance</i> <i>Challenges ...</i>	<i>Curb and gutter street standards not appropriate</i> <i>Right-of-way width requirements</i> <i>Alley construction and maintenance</i> <i>Street and sidewalk materials of construction</i> <i>Utility placement</i> <i>Street lights and associated costs</i> <i>Active recreation facilities</i>
<i>Development</i> <i>Challenges ...</i>	<i>Extensive risk associated with the project</i> <i>Cost control</i>

BOARD OF ALDERMEN

ITEM NO. F(1)

AGENDA ITEM ABSTRACT

MEETING DATE: February 22, 1994

SUBJECT: Sidewalk Plan - TAB

DEPARTMENT: PLANNING DEPARTMENT	PUBLIC HEARING: YES ____ NO ____
ATTACHMENTS: Carrboro Sidewalk Policy adopted 1989. TAB Recommendation.	FOR INFORMATION CONTACT: Kenneth Withrow, 968-7713
THE FOLLOWING INFORMATION IS PROVIDED: (x) Background () Action Requested (x) Analysis () Alternatives (x) Recommendation	

PURPOSE

The Carrboro Board of Aldermen directed the Transportation Advisory Board to evaluate existing sidewalk conditions at its annual retreat. The Transportation Advisory Board has reviewed the current sidewalk conditions as well as the current Sidewalk Policy; and believes that changes can be made to the document. The Transportation Advisory Board is requesting permission from the Board of Aldermen to review the Sidewalk Policy to make recommendations for changes.

SUMMARY

The Town staff conducted a survey of merchants within the Carrboro central business district in order to assess their attitudes toward the adequacy of sidewalks in the general area.

The Town staff presented the Transportation Advisory Board (TAB) the current Carrboro Sidewalk Policy as well as available literature that focused on pedestrian facilities.

The Town staff also presented the TAB a town map with existing and planned sidewalks; and noted the importance of connecting these sidewalks to the current sidewalk system.

The TAB reviewed sidewalk systems within subdivisions and how those sidewalks should connect with adjacent subdivisions.

The TAB also addressed the importance of "defining" a sidewalk within the community, coordinating efforts with facilities in Chapel Hill, and enhancements along sidewalks that will be visually attractive and provide safety for pedestrians.

The TAB request permission from the Board of Aldermen to review the Sidewalk Policy and make recommendations for changes.

ANALYSIS

The Board of Aldermen directed the Transportation Advisory Board (TAB) to review the Town's existing sidewalk conditions at its annual retreat.

The Town's staff, in cooperation with the DDC and the TAB, conducted a survey of the downtown business community in August, 1993. The survey was conducted to determine the downtown merchant's satisfaction with existing sidewalks and the desire for additional sidewalks. The survey revealed that the majority of downtown merchants believed that the current condition of sidewalks was sufficient, and only minor repairs needed to be made to the sidewalks. The TAB reviewed the survey; and also noted that the current sidewalks in the residential areas were sufficient.

The TAB proceeded to investigate the existing Carrboro Sidewalk Policy as well as other available literature concerning pedestrian facilities as received from the staff. The Town staff also presented the TAB a map of Carrboro that color-coded current sidewalk facilities and future sidewalk facilities. The staff's purpose was to show the significance of the Town's sidewalk system as important pedestrian links between residential subdivisions; and as connections to downtown Carrboro, Chapel Hill, and the University of North Carolina. Pedestrian movement between subdivisions and within subdivisions was of strong interest to the TAB after a review of various sidewalk systems within site plans. The TAB noted that the current Sidewalk Policy was a good policy; yet with efforts being made to encourage more intermodal transportation, revisions to the policy were necessary.

The TAB noted that the current policy does not address the "continuity" of sidewalk facilities between subdivisions. The placement of sidewalks on roads that will access other subdivisions is a very important effort in encouraging pedestrian movement throughout the Town. Other considerations made by the TAB included coordinating efforts with pedestrian facilities with the Town of Chapel Hill, revising sidewalk requirements along connector roads, defining the term "sidewalk" within the policy, and improving landscaping requirements along sidewalks to make the facilities visually attractive and remain safe for pedestrians. A suggestion was made that the TAB make a recommendation to the Board of Aldermen that revisions be made to the Carrboro Sidewalk Policy.

RECOMMENDATION

The Transportation Advisory Board request permission from the Board of Aldermen to review the Sidewalk Policy and make recommendations for changes.

ACTION REQUESTED

That the Board adopts the TAB's request.

CARRBORO SIDEWALK POLICY
ADOPTED BY THE BOARD OF ALDERMEN
MARCH 7, 1989

I INTRODUCTION

On March 7, 1989 the Board of Aldermen adopted a Sidewalk Policy for the Town of Carrboro. Carrboro enjoys a small town atmosphere, and walking is a major form of transportation. The town has included sidewalks in its planning, and the result is a comprehensive sidewalk system that is among the best in the state. Good sidewalk facilities encourage pedestrians and therefore reduces congestion and pollution.

II PURPOSE

The Town's major objective is to provide safe pedestrian access to every point within the Town limits. There are three levels of priority, listed in descending order:

1. Connect the existing pedestrian system with major community facilities such as schools, Town Hall, and the Downtown.
2. Expand the system to connect high density area.
3. Connect lower density developments with the existing system.

III REQUIREMENTS

EXISTING STREETS

Consideration will be given to construction of sidewalks on all existing arterial and collector streets. Sidewalk construction by the Town will be part of the Town's Capital Improvements Program.

NEW DEVELOPMENT

Whenever new development is approved, in order to adequately serve the residents or patrons of the development, sidewalks shall be constructed along existing roads where there is no existing

sidewalk along the new development's frontage to allow the development to connect to the existing sidewalk network.

NEW STREETS

Sidewalks in new developments will be required to be constructed on the following types of streets, as classified in Section 15-210 (b) of the Carrboro Land Use Ordinance:

<u>Classification</u>	<u>Requirement</u>
Minor	None
Local	One Side
Subcollector	One Side
Collector	One Side
Arterial	Both Sides

IV CONSTRUCTION STANDARDS

The following presumptive standards shall apply unless modified in a particular case by the permit issuing authority in light of environmental or other public welfare considerations.

Sidewalks shall be constructed on a subgrade compacted to 100% ASSHTO T99. The sidewalk shall be constructed to portland cement concrete having a 28-day strength of 3000 psi when tested in accordance with ASTM C39. The sidewalk shall be a minimum of four inches thick, increasing to six inches at driveway entrances and a minimum of four feet wide. Contraction joints shall be cut to a depth no less than one-third of the total slab thickness, and at intervals equal to the width of the sidewalk. An expansion joint filled with joint filler shall be placed between all rigid objects and placed no farther than thirty feet apart, extending the full depth of the concrete with the top of the filler one-half inch below the finished surface. The surface shall be finished to grade and cross-section with a float, troweled smooth and finished with a broom.

Curb ramps for the handicapped shall be designed as required in G.S. 136-44.14 in accordance with the manual entitled "Guidelines curb Cuts and Ramps for Handicapped Persons" prepared by the North Carolina Department of Transportation, Division of Highways, Highway Design Branch.

EXISTING AND PROPOSED SIDEWALK LOCATIONS					
STREET	LOCATION	SIDE	LENGTH	STATUS	CURB
Abby Lane	Canterbury	N	300	E	
Berryhill	Weatherhill	N	800	E	
	Weatherhill-Old Fayetteville	N	1600	P	
BPW Club	Smith Level (Berryhill)	N	1400	D	
	(Highland Hills)	N	1000	E	C
Broad	Cobb-Hill	E	1500	E	C
Cobblestone Dr	Pathway-end	E	2600	E	
Cobb	Lloyd-Broad	N	300	E	C
Culbreth	Culbreth-ETJ Line	S	250	P	
Davie	Jones Ferry-Fidelity Ct	W	1450	P	
	Fidelity Ct.	W	600	E	
	Fidelity-Poplar	W	330	P	
	Poplar-Main	W	800	P	
Estes	N. Greensboro-Town Limit	E	2400	P	
Fidelity	Davie-Main	S	1800	E	C
Greensboro	NC 54-Carr	W	2700	P	
	Carr-Main	W	400	E	C
	Main-Weaver	B	200	E	C
	Weaver-Short	B	200	E	
	Short-Estes	E	2400	E	
	Estes-Hanna	E	1600	P	
	Hanna-Hillsborough	N	2400	P	
Hanford	Fair Oaks	W	800	E	
Hillsborough	Main-Lorraine	E	4500	P	
	Lorraine-Parkview	E	2100	P	
	Parkview-Town Limit	E	3000	P	
James	Main-Carol	W	1700	P	
	Carol-Hillsborough	W	1500	P	
Jones Ferry	(Woodbridge II)	S	400	E	C
	Woodbridge I-II	S	450	P	
	(Woodbridge I)	S	300	P	C
	NC 54-Old Well	S	400	P	
	Old Well-Main	S	2800	E	C
Lloyd	Fowler-Cobb	W	600	P	
	Main-Cobb	W	300	E	C
Main	Jones Ferry-Rosemary	B	2300	E	C
	(Chapel Hill Tire)	B	100	E	
	Rosemary-Merritt Mill	B	700	E	C
	CH Tire-Sav-A-Ton	B	200	P	
	(Sav-A-Ton)	W	200	E	C
	Laurel-Fidelity	E	400	E	C
	Fidelity-Poplar	W	300	P	C
Merritt Mill	Poplar-NC 54	S	4300	P	
	Greensboro-Cameron	N	3600	E	C
	Cameron-Brewer	W	1000	P	
	Main (Church)	W	125	E	C
	Church-Mason Motel	W	325	P	C
Oak Ave. Ext.	Mason Motel-Rosemary	W	100	E	
	Oakwood Apts.	N	800	E	
Old Fayetteville	NC54-Poplar	E	2900	P	
	Poplar (Ramsgate)	E	1000	E	C
	Ramsgate-Jones Ferry	E	2100	P	
	Jones Ferry (Woodbridge)	E	1200	E	C
	Woodbridge-Highlands	E	2400	P	
	Highlands	E	1100		

EXISTING AND PROPOSED SIDEWALK LOCATIONS					
STREET	LOCATION	SIDE	LENGTH	STATUS	CURB
Old Fayetteville	Highlands-Rock Haven	E	800	P	
	Rock Haven-Smith Level	E	1200	P	
Parker Street	N. Greensboro-Lloyd	S	800	P	
Parkview	Hillsborough-Pathway	E	500	E	
Pathway	(Cobblestone)	N	400	E	C
	(Fair Oaks)	N	2300	D	C
	(Spring Valley)	N	900	E	C
	(Quarterpath Trace)	N	400	D	C
	(Bolin Forest)	N	1500	D	C
	Bolin Forest-Seawell	N	2200	P	
Poplar	Old Fayetteville-NC 54	N	600	P	C
	NC 54-Davie	N	2165	P	C
	Davie-Main	N	1935	P	C
Quail Roost	Hillsborough-Old Fayette	S	2100	P	
Quarterpath	Greensboro-Pathway	E	2200	P	
Roberson	Main-Health Center	E	200	E	
Rock Haven	Rock Creek-Old Fayette	N	200	P	
	(Rock Creek)	N	1000	E	C
Rosemary	Main-Merritt Mill	B	300	E	C
Seawell Rd. Ext.	Seawell-Homestead	N	3000	P	
Shelton*	Greensboro-Ashe	N	1600	E(A)	
Simpson	Main-Hillsborough	W	2100	P	
Smith Level	BPW Club-Morgan Creek	W	1600	D	
	Morgan Creek-NC54	W	600	P	
Stroud Lane	Old Fayetteville-Park	S	950	P	
Tripp Farm Rd.	Hillsborough-Fair Oaks	W	1600	P	
	Fair Oaks	W	1800	E	
	Fair Oaks-Seawell	W	2900	P	
Weaver	Main-Main	B	1700	E	C
Westbrook Drive	Weatherhill	E	2200	E	
Williams St.	N. Greensboro-Park	W	800	P	
Yeargan Place	Fair Oaks	S	800	E	

LEGEND:
E...EXISTING
P...PROPOSED
D...DEVELOPMENT PLAN
B...BOTH

*The Shelton Street sidewalk is constructed as an asphalt path which does not meet the Town's sidewalk construction standards. This sidewalk should be upgraded in the future to meet current construction standards.

BOARD OF ALDERMEN

ITEM NO. F(2)

AGENDA ITEM ABSTRACT

MEETING DATE: February 22, 1994

SUBJECT: Amendment to the Town Code - Stop and Through Streets

DEPARTMENT: PLANNING DEPARTMENT	PUBLIC HEARING: YES ____ NO ____
ATTACHMENTS: Ordinance Amendment for Springvalley Subdivision. Map of Springvalley subdivision.	FOR INFORMATION CONTACT: Kenneth Withrow, 968-7713
THE FOLLOWING INFORMATION IS PROVIDED: () Background (x) Action Requested () Analysis () Alternatives (x) Recommendation	

PURPOSE

To amend the current Town ordinance to include the streets of Springvalley subdivision.

SUMMARY

On June 1, 1993, residents of the Springvalley subdivision requested that the Board of Aldermen accept the streets within the subdivision. The residents pointed out to the Board of Aldermen that the maintenance cost for the streets was too high; and believed that the Town should take responsibility for those streets. The Board of Aldermen accepted the streets as of June 1, 1993. The Springvalley subdivision is located between the Fair Oaks subdivision and Bolin Forest Subdivision.

ANALYSIS

The ordinance amendment will replace the existing private stop signs with stop signs that meet the Manual of Uniform Traffic Control Device's standards; and will not change current travel patterns within the subdivision.

RECOMMENDATION

The administration recommends that the Carrboro Board of Aldermen approve the amendments to the Town Code designating the "stop" and "through" streets within the Springvalley subdivision.

ACTION REQUESTED

To adopt by motion the administration's recommendation.

The following ordinance was introduced by Alderman _____ and duly seconded by Alderman _____.

**AN ORDINANCE AMENDING THE CARRBORO TOWN CODE
DESIGNATING STOP STREETS AND THROUGH STREETS**

THE BOARD OF ALDERMEN OF THE TOWN OF CARRBORO ORDAINS:

Section 1. Subsection 6-4a of the Carrboro Town Code is amended by adding the additional intersections as follows.

<u>STOP STREET</u>		<u>THROUGH STREET</u>
Creek View Circle	at	Waterside Drive
Rock Spring Court	at	Waterside Drive
Waterside Drive	at	Springvalley Drive
Springvalley Drive	at	Pathway Drive

Section 2. All provisions of any town ordinance in conflict with this ordinance are repealed.

Section 3. This ordinance shall become effective upon adoption.

The foregoing ordinance, having been submitted to a vote, received the following vote was duly adopted this ___ day of _____, 1994:

AYES:

NOES:

ABSENT/EXCUSED:

The following ordinance was introduced by Alderman Randy Marshall and duly seconded by Alderman Hank Anderson.

**AN ORDINANCE AMENDING THE CARRBORO TOWN CODE
DESIGNATING STOP STREETS AND THROUGH STREETS**

Ordinance No. 29/93-94

THE BOARD OF ALDERMEN OF THE TOWN OF CARRBORO ORDAINS:

Section 1. Subsection 6-4a of the Carrboro Town Code is amended by adding the additional intersections as follows.

<u>STOP STREET</u>		<u>THROUGH STREET</u>
Creek View Circle	at	Waterside Drive
Rock Spring Court	at	Waterside Drive
Waterside Drive	at	Springvalley Drive
Springvalley Drive	at	Pathway Drive

Section 2. All provisions of any town ordinance in conflict with this ordinance are repealed.

Section 3. This ordinance shall become effective upon adoption.

The foregoing ordinance, having been submitted to a vote, received the following vote was duly adopted this 22nd day of February, 1994:

AYES: Randy Marshall, Hank Anderson, Eleanor Kinnaird, Frances Shetley,
Jacquelyn Gist, Jay Bryan

NOES: None

ABSENT/EXCUSED: Michael Nelson

BOARD OF ALDERMEN

ITEM NO. F(3)

AGENDA ITEM ABSTRACT MEETING DATE: February 22, 1994

SUBJECT: Planning Retreat Follow Up

DEPARTMENT: Manager	PUBLIC HEARING: YES ___ NO <u>x</u>
ATTACHMENTS:	FOR INFORMATION CONTACT: Robert Morgan, 968-7706

PURPOSE

The Board of Aldermen requested that an evaluation of the Planning Retreat be held following this year's retreat. The 1994 Planning Retreat was held on February 13 and 14, 1994 and an evaluation was scheduled for tonight's meeting.

SUMMARY

Alderman Anderson will be given an opportunity to vote on whether ^(four) five items listed as possible topics for the action agenda should be included on the 1994 Planning Retreat Action Agenda.

If any of these items are added to the action agenda, the Board will need to assign quarter numbers to the items.

The Board will evaluate the 1994 Planning Retreat and offer any suggestions for changes to next year's retreat format.

The town staff seeks direction from the Board on whether to reserve the Aqueduct Conference Center for the 1995 Planning Retreat.

ANALYSIS

The Board of Aldermen at its meeting on January 18, 1994 set the format for the 1994 Planning Retreat. As a part of that format, the Board indicated its desire to perform a follow-up evaluation of this year's retreat as a part of planning for next year's retreat.

Alderman Anderson was absent from this year's retreat due to illness. During the process of formulating the 1994 Action Agenda, the following items failed to receive a majority vote of the Board in order to be placed on the action agenda and the Board requested that Alderman Anderson be allowed the opportunity to vote on whether these items should be placed on the action agenda:

1. Annexation of Doughnut Holes *yes Q-3*
2. Unfunded mandates (stormwater run-off, ADA, blood-borne pathogens, etc.) *yes Q-3*
3. Increasing fund balance *yes Q-2*
4. Housing stipend for town employees *-yes Q-2*

Page Two
Agenda Item Abstract F(3)

If these items receive a majority vote of the Board to be placed on the action agenda, the Board will also need to assign a quarter number to these items.

The Board will evaluate this year's retreat and offer suggestions for changes to next year's retreat.

In addition, the town staff has tentatively reserved the Aqueduct Conference Center for Sunday, January 8 and Monday, January 9, 1995 for the 1995 Planning Retreat.

ACTION REQUESTED

To decide whether to include the items listed under the Analysis section of this agenda abstract on the 1994 Planning Retreat Action Agenda and, if so, to assign quarter numbers to those items. In addition, to give the town staff direction on whether to reserve the Aqueduct Conference Center for the January 8 and 9, 1995 and suggest any changes to next year's retreat format.

BOARD OF ALDERMEN

ITEM NO. F(4)

AGENDA ITEM ABSTRACT MEETING DATE: February 22, 1994

SUBJECT: Appointment to Human Services Commission

DEPARTMENT: n/a	PUBLIC HEARING: YES ____ NO <u>x</u> __
ATTACHMENTS: Application from Rudolph Gregory	FOR INFORMATION CONTACT: Christine Taylor, Chair, Human Services Com.

PURPOSE

There are currently four (4) vacant seats on the Human Services Commission. The Town Clerk has received an application from Rudolph Gregory. The Chair of the Human Services Commission recommends that Mr. Gregory be appointed to one of the vacant seats on the Human Services Commission.

ANALYSIS

The Town Clerk has advertised vacant seats on all advisory boards. Rudolph Gregory has submitted an application to the town expressing interest in serving on either the Planning Board or Human Services Commission. Mr. Gregory's application was forwarded to both chairs for review. The chair of the Human Services Commission is recommending that Mr. Gregory be appointed to one of the four (4) vacant seats on that commission.

RECOMMENDATION

The Chair of the Human Services Commission recommends that Rudolph Gregory be appointed to the Human Services Commission.

ACTION REQUESTED

To appoint Rudolph Gregory to the Human Services Commission.

TOWN OF CARRBORO
APPLICATION FOR MEMBERSHIP ON ADVISORY BOARDS

Name Rudolph Stewart Gregory Date 1-12-94

Address 501 Jones Ferry Rd M8

Is this address located within the corporate limits of the Town of Carrboro? yes

Phone (Home) 932-9516 (Business) _____

Date of Birth 01-04-65 Race Caucasian Sex Male

Occupation Student, Public Administration at NCCU

Community Activities and Organizational Memberships Democratic Party

Are you a registered voter of Orange County? yes

Length of residence in Orange County 5 yrs Town of Carrboro 3 yrs

I wish to be considered for appointment to the following advisory board(s):

<input type="checkbox"/> Board of Adjustment	<input checked="" type="checkbox"/> 1 Planning Board
<input type="checkbox"/> Appearance Commission	<input type="checkbox"/> Transportation Advisory Board
<input type="checkbox"/> Cable T.V. Committee	<input type="checkbox"/> Parks & Recreation Commission
<input checked="" type="checkbox"/> 2 Human Services Commission	<input type="checkbox"/> Cemetery Commission
<input type="checkbox"/> OWASA Board of Directors	<input type="checkbox"/> Downtown Development Commission
<input type="checkbox"/> Orange County Economic Development Commission	<input type="checkbox"/> Other

If you apply for membership on more than one advisory board, please indicate your preference by number, with 1 being your first choice (please limit your selection to two boards). Please note that membership is limited to one advisory board at a time. You shall not be considered for appointment to another board unless you resign before filing an application or you are in the last six months of your current term.

Experience to aid you in working on these advisory boards:

527 votes in the last election. No experience, but no
preconceptions about how we might solve our problem.

Reason(s) you wish to be appointed: To serve the citizens of
Carrboro and political ambitions. I'll work hard.

Have you ever served on any Town of Carrboro advisory board? If so, which one(s)? No

RECEIVED JAN 25 1994
FIREC... 25 1994

BOARD OF ALDERMEN

ITEM NO. F(5)

AGENDA ITEM ABSTRACT

MEETING DATE: February 22, 1994

SUBJECT: Identification of New Program Initiatives and Policy Goals for 1994-95

DEPARTMENT: Admin. Services	PUBLIC HEARING: YES ____ NO <u>x</u>
ATTACHMENTS:	FOR INFORMATION CONTACT: Robert Morgan or Larry Gibson

PURPOSE:

The purpose of this item is to have the Board identify various programs and/or initiatives that it would like to consider as policy goals for the 1994-95 year. The administration will prepare cost estimates for these various items and present them to the Board on March 8.

SUMMARY:

Staff presented the Manager's recommended financial goals for the new year during the Board's retreat, February 13th and 14th. In adhering to the leadership-based budgeting model, the Board and Manager must establish policy goals as well as financial goals. The Board is scheduled to make its decisions on both sets of goals at the March 8th meeting.

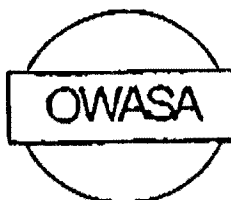
As in the past, the administration is requesting that the Board identify new programs and policies in advance of making its decision on March 8th so that staff can prepare, and the Board will have the benefit of, cost estimates for these items.

This step of the process calls for the Board to reach consensus on those or items for which it would like to have costs projected.

ACTION REQUESTED:

The administration requests that the Board identify any new programs or policy goals that it would like to consider for FY 1994-95.

Orange Water and Sewer Authority
400 Jones Ferry Road
P.O. Box 366
Carrboro, NC 27510
(919) 968-4421



Fax Transmission Cover Letter

Date: 2/18/94Time: 11:43To: Keith LankfordRepresenting: Town of CarrboroFax Number: 968-7737From: Todd SpenserRepresenting: OWASA

Fax Number: (919) 968-4421, ask for ext. 246 (no direct line)

Number of pages, including cover sheet 3

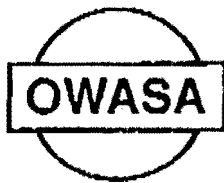
Should you not receive all pages, please call the sender at (919) 968-4421.

Keith: Attached are comments on Pollitzer
Tract resubmittal. As we discussed,
there appear to be no major issues at
this point. I have discussed layout
& comments w/ Mike Hughes and he
understands OWASA's concerns noted
in attached letter. - Todd

RECEIVED

FEB 18 1994

TODD SPENSER
CARRBORO
27510-3666



Orange Water and Sewer Authority

400 Jones Ferry Road
P.O. Box 366
Carrboro, NC 27510
(919) 968-4421

February 18, 1994

Mr. Keith Lankford
Town of Carrboro
Post Office Box 829
Carrboro, NC 27510

Dear Keith:

SUBJECT: RESUBMITTAL OF POLLITZER PROPERTY UTILITY PLAN

The utility layout for the above referenced project has been resubmitted to this office for review. Comments made on the original submittal contained in my letter of January 18, 1994 which are still relevant are as follows:

1. A complete set of drawings will be required showing all water and sewer construction on and off site with appropriate plan and profile and standard detail drawings before review for construction approval can be completed.
2. The referenced property does not presently have public water or sewer available. Public water and sewer main extension to this site would be required in order for this development to be in compliance with OWASA policy for water and sewer services availability. Public water and sewer mains are to be constructed in dedicated right of way, or within easements acceptable to the Authority. These rights of way and/or easements necessary for the off site water and sewer utilities must be secured in a manner acceptable to the Authority's General Counsel and Engineers prior to final plan approval.
3. Extension of the existing water line from the end of Stratford Drive to the site would be a temporary means of providing water service prior to build out of adjacent properties and connection to proposed water lines in these developments. However, this single source feed may not provide adequate flows for fire protection due to hydraulic limitations. It would be necessary for the Engineer of the project to evaluate flows for the proposed development in this scenario.

Comments on the revised layout dated revised February 15, 1994 are as follows:

1. Lots 23 and 24 along Cates Farm Road are not in compliance with OWASA policy for sewer service as presently shown. The public sewer must be extended from MH-4 to a point in the road aligning with the common property line of lots 23 and 24.

An Equal Opportunity Employer

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FEB 18 1994

**TOWN OF CARRBORO
ZONING DIVISION**

FILED TO 04 PM 11:44 C.W.H.S.H. FAX NO. 0133004421 11:00
Mr. Keith Lankford
Pollitzer Property
February 18, 1994
Page 2

2. Lots 16 and 25 at the Cates Farm Road cul-de-sac are shown to be "flag lots." There are two (2) strips of land each measuring approximately 130'x15' which abut Wyndham Drive to the east. By so doing, these lots are brought into compliance with OWASA policy for sewer service via public sewer in Wyndham Drive. The sewer services from these lots can be located within these "corridors" and connect to MH-6. As is OWASA's policy, responsibility for maintenance and operation of these sewer service lines would be that of the homeowners. It would be to the ultimate benefit of the homeowners of lots 16 and 25 to have public sewer extended from MH-6 along the common lot line of lots 17 and 26 to the back corner of these lots. This way the homeowner's responsibility for maintenance would be reduced to the service lines on their immediate lots and the Authority would maintain and be responsible for the reach of sewer located between lots 17 and 26. Although this would be a preferable arrangement, the "flag lot" layout submitted for lots 16 and 25 does meet OWASA policy and is therefore acceptable.
3. The plan submitted indicates that the developer of the Pollitzer Property would have the option to choose whether to connect the sewer along Wyndham Drive to the sewer system within Cates Farm Subdivision or to connect to the sewer system within the Cobblestone Subdivision. For this to be considered a valid option, design drawings showing both options in plan and profile must be submitted to OWASA for review and approval. Since the Authority would eventually own and operate the public sewer upon dedication by the developer, any decision pertaining to the final and permanent alignment of the sewer must involve OWASA personnel and must be acceptable to the Authority. At this time, there have been no construction profile drawings submitted to OWASA. Sanitary sewer profile will be necessary in order to determine how viable each option is from a construction standpoint; and, which option is in the best interest of the Authority in terms of maintenance and repair in the future.

There are no further comments at this time.

Should you have any questions or concerns, please call.

Sincerely,



Todd Spencer, P.E.

Assistant Engineering Manager

rwj

c: Mr. Michael M. Hughes
Ms. Virginia M. Pollitzer
John Greene

RECEIVED

FEB 18 1994

TOWN OF CARRBORO
ZONING DIVISION