

ATTACHMENT A

**A RESOLUTION APPROVING THE MINOR MODIFICATION TO THE CUP FOR
THE AMERICAN TOWER TELECOMMUNICATION TOWER
LOCATED AT 515 SOUTH GREENSBORO STREET**

Resolution No. 92/2005-06

WHEREAS, the Carrboro Board of Aldermen approved a Conditional Use Permit for a telecommunications tower at 515 South Greensboro Street on November 10, 1992; and

WHEREAS, the Town of Carrboro Land Use Ordinance requires that additional users on a tower shall constitute a minor modification to the original Conditional Use Permit and that one of the conditions of the original CUP for this particular tower requires a public hearing for any modification to the tower; and

WHEREAS, the Board of Aldermen finds that the applicant has satisfied the requirements related to minor modifications for towers contained in the Land Use Ordinance.

NOW, THEREFORE BE IT RESOLVED by the Carrboro Board of Aldermen that the minor modification to the American Tower conditional use permit located at 515 South Greensboro Street allowing Clearwire, LLC the installation of a three foot by three foot cabinet at the base of the fenced in tower and the installation of an antenna array at the height of 116 feet.

clearwre®

PROJECT NAME: CARBORO
SITE NUMBER: NC-RAL105
PROJECT TYPE: COLLOCATE ON EXISTING TELECOMMUNICATIONS TOWER WITH ADDED GROUND EQUIPMENT CABINET
PROJECT LOCATION: 515 SOUTH GREENSBORO STREET CARBORO, NC 27510



10/27/05

<p>6</p>	
<p>5</p>	
<p>4</p>	
<p>3</p>	
<p>2</p>	
<p>1</p>	

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SITE INFORMATION	
LATITUDE	35 54' 08.0" N
LONGITUDE	-79 04' 11.6" W
ELEVATION	180'-0"
POWER	DUKE ENERGY (800) 653-3307
TELCO	BELLSOUTH (919) 780-3800
JURISDICTION	TOWN OF CARBORO
PROJECT AREA	49 SQ. FT. LEASE AREA
PARCEL #	9778839403
ZONING CLASSIFICATION	M-1

LOCATION SKETCH	
<p>SITE DIRECTIONS</p> <p>FROM I-40, TAKE EXIT 273A, NC-54 WEST TOWARDS CHAPEL HILL. TRAVEL APPROXIMATELY 3.1 MILES TO THE RAMP FOR NC-US-15 S/US-501 S/NC-54 W AND GREENSBORO. TURN RIGHT ON SOUTH GREENSBORO BLVD. (NC-54) AND TRAVEL APPROXIMATELY 0.5 MILES TO THE INTERSECTION OF GREENSBORO STREET. TURN LEFT ON MERRITT WILL ROAD AND TURN RIGHT ON S GREENSBORO STREET. PAVED ACCESS THROUGH A MINI STORAGE FACILITY. GATE CODE IS 1760. THERE IS AN ADDITIONAL ACCESS CODE REQUIRED TO ENTER THE STORAGE FACILITY—THAT INFORMATION IS GIVEN ONCE A LEASE IS SIGNED.</p>	

OVERVIEW MAP	

APPLICABLE BUILDING CODES AND STANDARDS	
<p>CONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AS ADOPTED AND STANDARDS IN EFFECT ON THE DATE OF CONTRACT AWARD SHALL GOVERN THE DESIGN.</p> <p>NORTH CAROLINA STATE BUILDING CODE (NCSBC), 2002 EDITION</p> <p>ELECTRICAL CODE: NEC 2005-NORTH CAROLINA ELECTRIC CODE 2005 EDITION</p> <p>LIGHTNING PROTECTION CODE: NFPA 780 - 2006, LIGHTNING PROTECTION CODE</p> <p>CONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION TO THE FOLLOWING STANDARDS:</p> <p>1. AMERICAN CONCRETE INSTITUTE (ACI) 318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI)</p> <p>2. AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) MANUAL OF STEEL CONSTRUCTION, 13TH EDITION</p> <p>3. SECS) STANDARDS BUILDING CODES - (INTERNATIONAL BUILDING CODE) 2000 EDITION WITH 2002, 2003 & 2004 AMENDMENTS</p> <p>4. NFPA NATIONAL ELECTRICAL CODE - 2002 EDITION WITH 2003 AMENDMENT</p>	

PROJECT CONTACT	
PROJECT MANAGER	MS. CORLA BAHAM MORRISON HERSHFELD CORPORATION 7105-374-8518
SITE ACQUISITION	MS. SUSAN STAMCEL STAMCEL AND ASSOCIATES (704) 585-2930

DRAWING TITLE	
COVER SHEET	

ARCHITECTURAL GENERAL NOTES

1. WORK SHALL COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS. ALL NECESSARY LICENSES, CERTIFICATES, ETC., REQUIRED BY AUTHORITY HAVING JURISDICTION SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR.
2. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING DIMENSIONS AND CONDITIONS AT THE JOB SITE WHICH COULD AFFECT THE WORK UNDER THIS CONTRACT. ALL MANUFACTURERS' RECOMMENDED SPECIFICATIONS SHALL BE COMPLIED WITH.
3. THE CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST BETWEEN THE LOCATIONS OF ANY AND ALL MECHANICAL, ELECTRICAL, PLUMBING, OR STRUCTURAL ELEMENTS, AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE ARE MET. NOTIFY THE CONSULTANT IMMEDIATELY OF ANY CONFLICTS OR MODIFICATIONS IN THE DESIGN OF THE CONTRACT WITHOUT THE CONTRACTOR GETTING ADDITIONAL CONFIRMATION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAILY CLEAN UP OF ALL TRADES AND REMOVE DEBRIS FROM THE STRUCTURE AND SURROUNDING AREAS TO A BETTER THAN NEW CONDITION.
5. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATE BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREMAGE, COLLAPSE, ETC. ACCORDING TO APPLICABLE CODES, STANDARDS, AND GOOD CONSTRUCTION PRACTICES.
6. WHERE ONE DETAIL IS SHOWN FOR ONE CONDITION, IT SHALL APPLY FOR LIKE OR SIMILAR CONDITIONS UNLESS OTHERWISE SPECIFICALLY MARKED ON THE DRAWINGS OR REFERRED TO IN THE SPECIFICATIONS.
7. WHERE NEW BRACKS, CONCRETE FORMWORKS, PILES, OR OTHER ITEMS ARE SHOWN, THE CONTRACTOR SHALL MATCH THE EXISTING PITCH, GRADE, AND ELEVATION TO THE ENTIRE STRUCTURE. ALL SHALL HAVE A SMOOTH TRANSITION.
8. THE GENERAL CONTRACTOR SHALL OBTAIN WRITTEN CONFIRMATION OF THE EXPECTED DATE OF COMPLETION OF THE POWER CONNECTION FROM THE POWER COMPANY.
9. IF THE POWER COMPANY IS UNABLE TO PROVIDE THE POWER CONNECTION BY OWNERS' REQUIRED DATE, THE GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN A TEMPORARY GENERATOR UNTIL THE POWER COMPANY CONNECTION IS COMPLETED. COSTS ASSOCIATED WITH THE TEMPORARY GENERATOR TO BE APPROVED BY THE OWNER.
10. PLANS, PARTS OF THIS SET ARE COMPLEMENTARY. INFORMATION IS NOT LIMITED TO ONE PLAN. PROPERTY OF THE ARCHITECT. THE CONTRACTOR SHALL VERIFY THAT THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXTENSION OR NOT THEY ARE NOT TO BE USED BY THE OWNER ON OTHER PROJECTS OR EXTENSION TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO MORRISON HERSHFIELD. THESE PLANS WERE PREPARED TO BE SUBMITTED TO THE POWER COMPANY FOR REVIEW AND APPROVAL. THE CONTRACTOR SHALL VERIFY COMPLIANCE WITH APPLICABLE CODES AND IT IS THE SOLE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO BUILD ACCORDING TO APPLICABLE BUILDING CODES.
11. IF CONTRACTOR OR SUB-CONTRACTOR FIND IT NECESSARY TO DEVIATE FROM ORIGINAL APPROVED PLANS, THEN IT IS THE CONTRACTOR'S AND THE SUB-CONTRACTOR'S RESPONSIBILITY TO PROVIDE THE ARCHITECT WITH 4 COPIES OF THE PROPOSED CHANGES FOR HIS APPROVAL BEFORE PROCEEDING WITH THE WORK. IN ADDITION THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE BUILDING AUTHORITIES FOR PROPOSED CHANGES. THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSPECTIONS AND APPROVALS FROM BUILDING AUTHORITIES DURING THE EXECUTION OF THE WORK.
12. IN EVERY EVENT, THESE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS SHALL BE INTERPRETED TO BE A MINIMUM ACCEPTABLE MEANS OF CONSTRUCTION BUT THIS SHALL NOT PREVENT THE CONTRACTOR, SUB-CONTRACTOR, AND/OR SUPPLIER/MANUFACTURER FROM PROVIDING A COMPLETE AND SUPERIOR MEANS OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE A COMPLETE AND SAFE WORKING CONDITION, THEN IT SHALL BE THE OWNER'S AND UNDERSTOOD TO BE INCLUDED IN THE DRAWINGS. FOR EXAMPLE, IF AN ITEM AND/OR PIECE OF EQUIPMENT REQUIRES A LARGER WIRE SIZE (I.E. ELECTRICAL WIRE), REDUCED SPACING OR BRACING, INCREASED QUANTITY (I.E. STRUCTURAL ELEMENTS), REDUCED LENGTHS OR BRACING, INCREASED QUANTITY (I.E. STRUCTURAL ELEMENTS), THEN THESE ITEMS SHALL BE MEANT AS A GUIDE AND ALL ITEMS REASONABLY INFERRED SHALL BE DEEMED TO BE INCLUDED.
13. THESE CONTRACT DOCUMENTS AND SPECIFICATIONS SHALL NOT BE CONSTRUED TO CREATE A CONTRACTUAL RELATIONSHIP OF ANY KIND BETWEEN THE ARCHITECT AND THE CONTRACTOR.
14. CONTRACTOR SHALL COORDINATE ALL INSTALLATION REQUIREMENTS WITH CLEARWIRE REPRESENTATIVE PRIOR TO CONSTRUCTION.

ELECTRICAL GENERAL NOTES

1. EXAMINE THE SITE CONDITIONS VERY CAREFULLY AND THE SCOPE OF PROPOSED WORK TOGETHER WITH THE WORK OF ALL OTHER TRADES AND INCLUDE IN THE BID PRICE ALL COSTS FOR WORK SHOWN AND SYSTEMS OF OTHER TRADES.
2. OBTAIN ALL PERMITS, PAY ASSOCIATED FEES, AND SCHEDULE INSPECTION IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND PRESENT IT AS FULLY OPERATIONAL TO THE SATISFACTION OF CLEARWIRE AND LAND/TOWER OWNER.
3. PRIOR TO BEGINNING WORK COORDINATE ALL POWER AND TOLPO WORK WITH THE LOCAL UTILITY COMPANY AS IT MAY APPLY TO THIS SITE. ALL WORK TO COMPLY WITH THE RULES AND REGULATIONS OF THE UTILITIES POWERED FROM THE POWER COMPANY. ELECTRICAL CONTRACTOR SHALL CONNECTION OF COMMERCIAL POWER FROM THE POWER COMPANY. ELECTRICAL CONTRACTOR SHALL FABRICATE AND INSTALLATION OF ALL ELECTRICAL SYSTEM SHALL BE DONE IN A FIRST CLASS WORKMANSHIP PER NECA STANDARD 1-2000 BY QUALIFIED PERSONNEL. THE CONTRACTOR SHALL SCHEDULE THE WORK IN AN ORDERLY MANNER SO AS NOT TO IMPED THE PROGRESS OF THE PROJECT.
4. BASIC MATERIALS AND METHODS
 1. ALL ELECTRICAL WORK SHALL CONFORM TO THE EDITION OF THE NEC ACCEPTED BY THE LOCAL JURISDICTION AND TO THE APPLICABLE LOCAL CODES AND REGULATIONS.
 2. ARRANGE CONDUIT, WIRING, EQUIPMENT, AND OTHER WORK GENERALLY AS SHOWN, PROVIDING PROPER CLEARANCES AND ACCESS CAREFULLY EXAMINE ALL CONTRACT DRAWINGS AND FIT THE LOCAL CODES AND REGULATIONS. WHERE DEPARTURES ARE PROPOSED BECAUSE OF FIELD CONDITIONS OR OTHER CAUSES, PREPARE AND SUBMIT DETAILED DRAWINGS FOR ACCEPTANCE.
 3. THE CONTRACT DRAWINGS ARE GENERALLY DIAGRAMMATIC AND ALL OFFSETS, BENDS, FITTINGS AND ACCESSORIES ARE NOT NECESSARILY SHOWN. PROVIDE ALL SUCH ITEMS AS MAY BE REQUIRED TO FIT THE WORK TO THE CONDITIONS.
 4. SEAL AROUND CONDUITS AND AROUND CONDUCTORS WITHIN CONDUITS ENTERING THE CABINETS, WHERE PENETRATION OCCURS WITH A SILICONE SEALANT TO PREVENT MOISTURE PENETRATION.
5. CONDUCTORS AND CONNECTORS
 1. UNLESS NOTED OTHERWISE, ALL CONDUCTORS SHALL BE COPPER, MINIMUM SIZE #12 AWG. WITH THERMOPLASTIC INSULATION CONFORMING TO NEMA WCS OR CROSS-LINKED POLYETHYLENE INSULATION. CONDUCTORS SHALL BE COLOR CODED IN ACCORDANCE WITH TABLE 310.109(A) OF THE NATIONAL ELECTRICAL CODE. CONDUCTOR LENGTHS SHALL BE CONTINUOUS FROM TERMINATION TO TERMINATION WITHOUT SPLICES. SPLICES ARE NOT ACCEPTABLE, IF SPLICES ARE UNAVOIDABLE PRIOR APPROVAL FROM THE ENGINEER MUST BE OBTAINED.
 2. GROUNDING
 1. ALL SAFETY GROUNDING OF THE ELECTRICAL EQUIPMENT SHALL BE CARRIED OUT IN ACCORDANCE WITH THE CURRENT EDITION OF NEC.
 2. ALL GROUND LUG AND COMPRESSION CONNECTIONS SHALL BE COATED WITH ANTI-OXIDANT AGENT, SUCH AS NO-OX, NOALOX, PENETROX OR KOPRESHIELD.
 3. ALL EXTERIOR GROUNDING CONDUCTORS INCLUDING EXTERIOR GROUND RING SHALL BE #2 AWG SOLID BARE THINNED COPPER MAKE ALL GROUND CONNECTIONS AS SHORT AND DIRECT AS POSSIBLE. AVOID SHARP BENDS. THE RADIUS OF ANY BEND SHALL NOT BE LESS THAN 8" AND THE ANGLE OF THE BEND SHALL NOT EXCEED 90°. GROUNDING CONDUCTORS SHALL BE ROUTED DOWNWARD TOWARD THE BURIED CONDUIT. RECESSED 90° GROUNDING CONDUCTORS SHALL BE RATED DOWNWARD TOWARD 1-319 GALVANIZING BAR.
 4. REPAIR ALL GALVANIZED SURFACES THAT HAVE BEEN DAMAGED BY THE BOND-WELDING WITH EPIC.
 5. ALL EXTERIOR GROUNDING CONNECTIONS SHALL BE EXOTHERMICALLY WELDED. ALL EXOTHERMIC WELDS TO EXTERIOR GROUND RING SHALL BE THE PARALLEL TYPE, EXCEPT FOR THE GROUND ROOS WHICH ARE TEE EXOTHERMIC WELDS.

IMPORTANT NOTICE

THE EXISTING CONDITIONS REPRESENTED HEREIN ARE BASED ON VISUAL OBSERVATIONS AND INFORMATION FROM MORRISON HERSHFIELD CORPORATION. WE CANNOT GUARANTEE THE CORRECTNESS NOR COMPLETENESS OF THE EXISTING CONDITIONS SHOWN ON THESE DRAWINGS. THE CONTRACTOR AND HIS/HER SUB-CONTRACTORS SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS AS REQUIRED FOR PROPER EXECUTION OF PROJECT. REPORT ANY CONFLICTS OR DISCREPANCIES TO THE CONSULTANT PRIOR TO CONSTRUCTION.

PROJECT INFORMATION

1. THIS IS UNMANNED RESTRICTED-ACCESS EQUIPMENT AND WILL BE USED FOR THE TRANSMISSION OF RADIO SIGNALS FOR THE PURPOSE OF PROVIDING PUBLIC BROADBAND SERVICE.
2. NO POTABLE WATER SUPPLY IS TO BE PROVIDED AT THIS LOCATION.
3. NO WASTE WATER WILL BE GENERATED AT THIS LOCATION.
4. NO SOLID WASTE WILL BE GENERATED AT THIS LOCATION.
5. CLEARWIRE MAINTENANCE CREW (TYPICALLY ONE PERSON) WILL MAKE AN AVERAGE OF ONE TRIP PER MONTH AT ONE HOUR PER VISIT.

COMPOUND NOTES

1. WORK OUTSIDE OF THE PROPERTY LINE INCLUDED IN THIS CONTRACT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. DRIVEWAYS, SODDING TO ASPHALT LINE AND UTILITY CONNECTIONS.
2. EXISTING TREES WITHIN CONSTRUCTION FOOTPRINT SHALL BE REMOVED AND PROPERLY DISPOSED OF.
3. CONTRACTOR SHALL OBTAIN PERMIT PRIOR TO REMOVAL. CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY ALL SERVICE CONNECTIONS AND CONDUITS PRIOR TO SUBMITTING THE CONSTRUCTION PERMITS TO THE LOCAL UTILITY COMPANY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND NOTES BEFORE SUBMITTING BID AND PROCEEDING WITH WORK.
4. BURY PHONE, AND ELECTRIC SERVICE NO LESS THAN 24" BELOW FINISH GRADE WITH 1'-0" RADIUS SAND BACKFILL AROUND PIPES COORDINATE WITH ELECTRICAL DRAWINGS. IN ORDER TO AVOID ANY CONFLICTS, CONTRACTOR SHALL COORDINATE ALL HIS PRACTICAL TRADES.

STRUCTURAL GENERAL NOTES

1. ALL CONCRETE WORK SHALL CONFORM TO ACI 318.1 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE AND TO THE PROJECT SPECIFICATIONS.
2. ALL CONCRETE IS TO BE NORMAL DENSITY CONCRETE WITH A MAXIMUM SLUMP OF 4 INCHES. MAXIMUM AGGREGATE SIZE 3/4 INCH. NO ADDITIONAL WATER SHALL BE ADDED TO THE CONCRETE AT THE JOB SITE.
3. NO HOLES OR SLEEVES SHALL BE MADE THROUGH THE STRUCTURAL DRAWINGS WITHOUT THE APPROVAL OF THE STRUCTURAL ENGINEER.
4. ALL FORMWORK OFFSET TOLERANCES (PER ACI 117) TO BE CLASS A.
5. FLOOR SLAB TOLERANCE TO ASTM E1155: SPECIFIED OVERALL MINIMUM VALUE OF FLATNESS F₁ = 25 WITH LOCAL MINIMUM F₁ = 17, AND MINIMUM VALUE OF LEVELNESS F₁ = 20 WITH LOCAL MINIMUM F₁ = 15. MEASURE F₁ AND F₁ WITHIN 72 HOURS OF SLAB CONSTRUCTION.

FOUNDATIONS

CABINETS ON SLAB. ALLOWABLE CAPACITY OF CONCRETE USED IN DESIGN MIN. 4000 PSI.
SOIL STATEMENT:
VISUAL INSPECTION OF THE SITE SHOWS A SOIL WHICH HAS SAFE BEARING CAPACITY IN EXCESS OF 2000 LBS. PER SQUARE FOOT. THE CONTRACTOR SHALL VERIFY THE SOIL TO VERIFY ITS CHARACTER. IN ORDER TO ISSUE A CERTIFICATION OF SOIL BEARING CAPACITY IF ANY SOIL CONDITIONS ARE ENCOUNTERED DURING THE CONSTRUCTION WHICH ARE AT A MINIMUM OF 2000 LBS. PER SQUARE FOOT, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.

NOTE:

NO WORK SHALL COMMENCE WITHOUT THE APPROVED STRUCTURAL DRAWINGS. ALL UNDESIGNED OR UNDESIGNED STRUCTURES SHALL BE REMOVED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL COVER THE APPROVED TOWER STRUCTURAL ANALYSIS REPORT BY CLEARWIRE AND MODIFY IF REQUIRED ALL STRUCTURAL DETAILS INDICATED IN CERTIFIED STRUCTURAL DRAWINGS PRIOR TO INSTALLATION OF ANTENNA SYSTEM AND CABLES.

NOTE:
CONTRACTOR SHALL PROVIDE PROPER ANTENNA SYSTEM BOLTS REQUIRED FOR PROPER AND COMPLETE INSTALLATION. SUBMIT SHOP DRAWINGS FOR APPROVAL. COORDINATE ANTENNA SYSTEM ATTACHMENT WITH TOWER ANALYSIS REPORT.

<p>MORRISON HERSHFIELD 68 PERimeter CENTER EAST, SUITE 600 14171-3719 DALLAS, TEXAS 75244-3719 Tel: 714.379.7400 Fax: 714.379.7800 www.morrisonhersfield.com</p>	
<p>clearwire 5405 LANE 1000 MORRISON HERSHFIELD, NC 27510 475.714.7600</p>	
<p>Client: clearwire</p>	
<p>Project: NC-RAL105 SOUTH GREENSBORO STREET CARRBORO, NC 27510</p>	
<p>Drawing Title: GENERAL NOTES</p>	
<p>Scale: As shown</p>	<p>Project No: 6053121, NC -RAL105</p>
<p>Drawn By: NDW</p>	<p>Date: 10/18/05</p>
<p>Checked By: ACSS</p>	<p>Project No: 6053121, NC -RAL105</p>
<p>Project No: 6053121, NC -RAL105</p>	<p>Client Approval: C.B.</p>
<p>Issue No: 0</p>	<p>Drawing No: G-2</p>

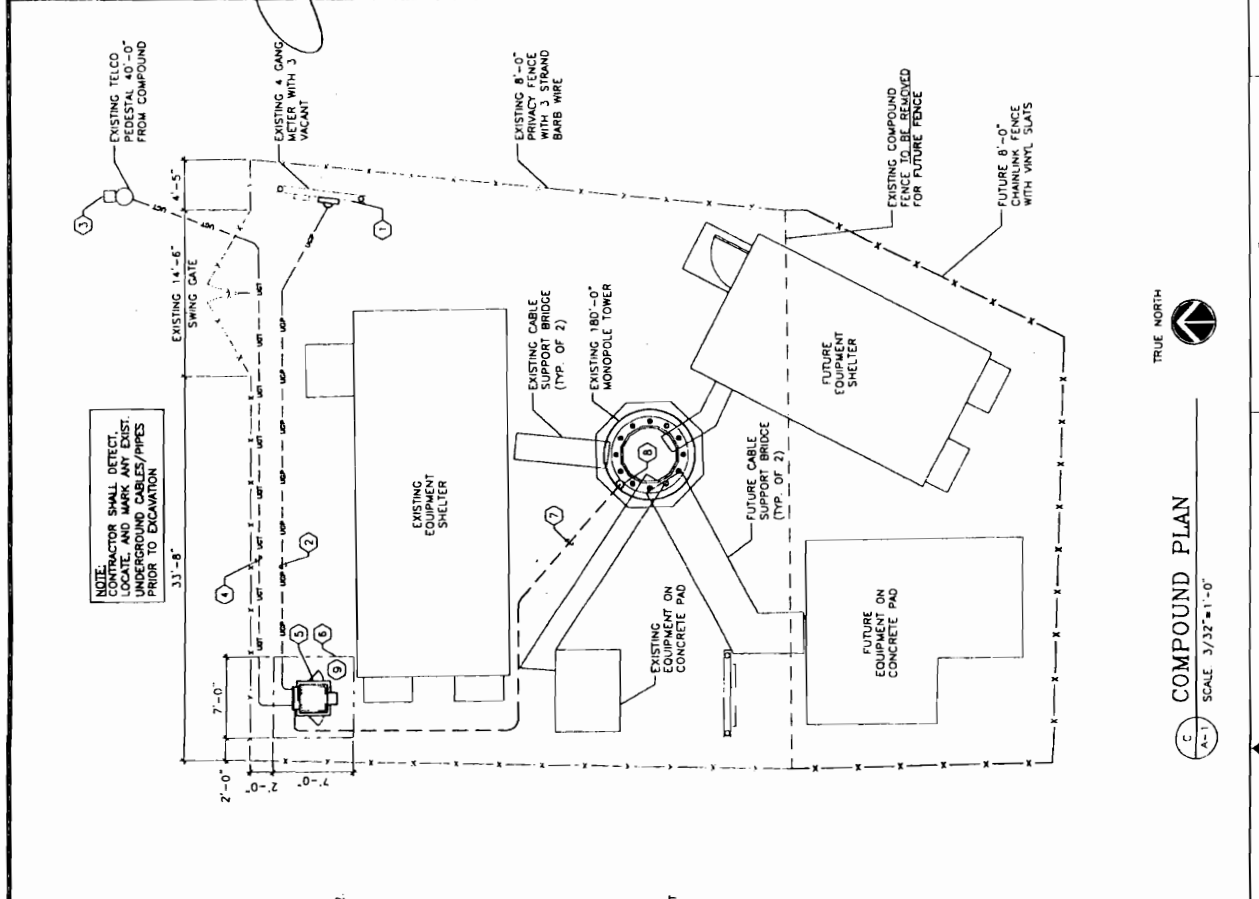
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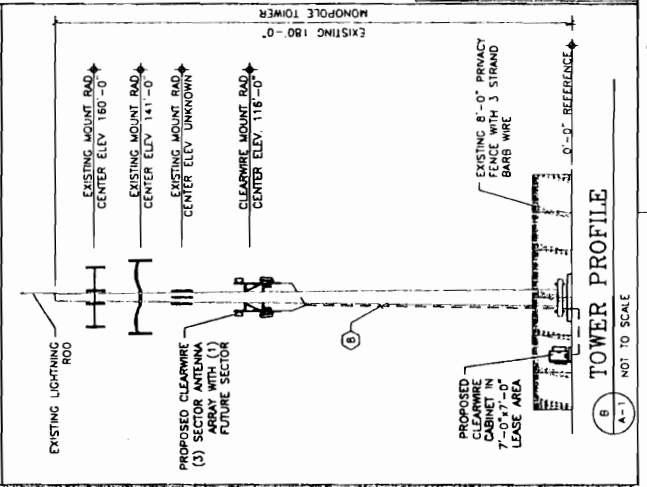
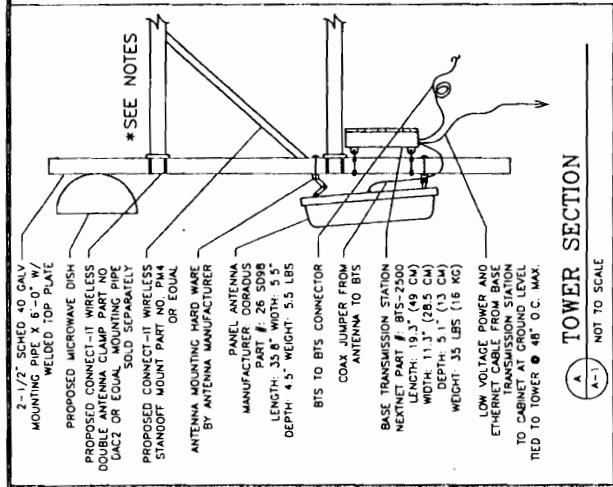
Project: 515 SOUTH GREENSBORO STREET, CARRBORO, NC 27510

Drawing Title: COMPOUND PLAN AND TOWER PROFILE

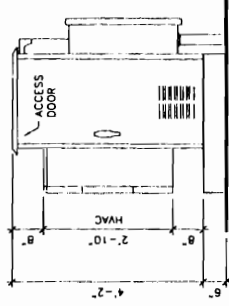
Scale	AS SHOWN
Project No.	6053121, NC-PA1025
Designer	NDW
Date	10/18/05
Drawn By	A.R.S.
Checked By	
Client Approval	
Issue No.	0
Drawing No.	A-1



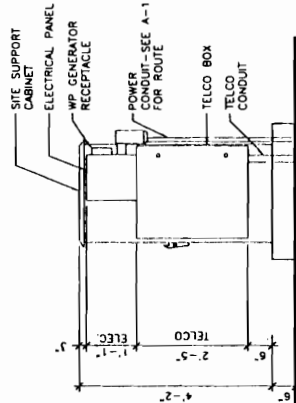
- REFERENCE NOTES:**
- EXISTING 4 POSITION 240V, 600 AMP, 1# MULTI-METER CENTER WITH 3 SPARE POSITIONS SUPPLY AND INSTALL A 100 AMP MAIN BREAKER WITH 3 SPARE POSITIONS. RAINING PROTECT LOGICALLY ATTACHED ENGRAVED IDENTIFICATION LABEL INDICATING "CLEARWIRE" METER
 - (3) #3 AWG. (1) #8 GROUND IN 1-1/4" RNC TO EQUIPMENT CABINET AC PANEL
 - TELCO DEMARCATION POINT ELECTRICAL CONTRACTOR TO COORDINATE WITH LOCAL TELCO FOR POTS SERVICE TO EQUIPMENT CABINET.
 - (1) 2" RNC WITH PULL CORD AND POTS LINE. TERMINATE AT EQUIPMENT CABINET TELCO BOX.
 - PROPOSED CLEARWIRE EQUIPMENT CABINET ON 3'-0"x3'-0" CONCRETE SLAB. SEE SHEET A-2.
 - PROPOSED 7'-0" x 7'-0" LEASE AREA
 - (2) 2" CONDUITS FROM EQUIPMENT CABINET TO POTS (1) 19/32" (1.575") (4) 5/16" (2) 19/32" LOW VOLTAGE (12V DC) POWER/ETHERNET CABLES (1) PULL CORD FOR FUTURE PROVIDE LIQUIDITE CONDUIT ABOVE GRADE TO TOWER (WHERE APPLICABLE). WEATHERPROOF WITH SEALANT.
 - ROUTE EXPOSED CABLES INSIDE MONOPOLE TO BITS AT ANTENNA LEVEL. SUPPORT TO TOWER EVERY 12"
 - SEE E-1 FOR GROUNDING INFORMATION
- LEGEND:**
- WET --- UNDERGROUND TELCO CONDUIT
 - WUP --- UNDERGROUND POWER CONDUIT
 - --- PROPOSED CONDUIT
- NOTES:**
- FOR MONOPOLES USE CONNECT-IT WIRELESS UNIVERSAL RING MOUNT PART NO. RM1030 OR RM1060. CONTRACTOR SHALL FIELD VERIFY DIAMETER SIZE.
 - FOR TOWER LEG MOUNTS, USE CONNECT-IT WIRELESS PIPE TO PIPE CLAMP SETS PART NO. PC30 OR EQUAL.
 - CONTRACTOR SHALL COORDINATE ALL INSTALLATION REQUIREMENTS WITH CLEARWIRE REPRESENTATIVE PRIOR TO CONSTRUCTION.



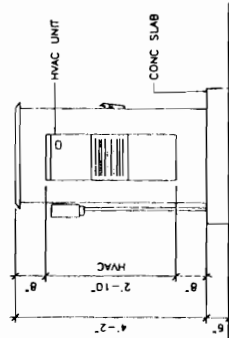
*EQUIPMENT CABINET IS ETL LISTED UNDER FILE #2082234 AND ITS ASSEMBLY IS IN COMPLIANCE WITH UL 60950-1



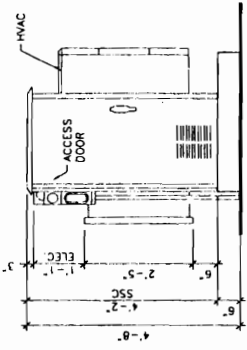
CABINET ELEVATION (FRONT)
A-2
NOT TO SCALE



CABINET ELEVATION (RIGHT)
B-2
NOT TO SCALE



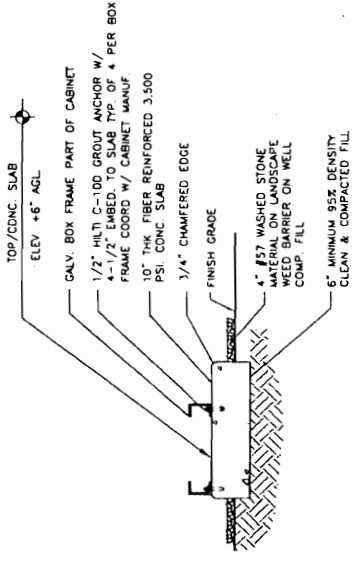
CABINET ELEVATION (LEFT)
C-2
NOT TO SCALE



CABINET ELEVATION (BACK)
D-2
NOT TO SCALE

CONCRETE NOTES

- UNLESS OTHERWISE NOTED, ALL CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI IN 3 DAYS FOR FOUNDATIONS AND 3500 PSI IN 28 DAYS FOR FLOOR SLABS AND CONDUIT ENCASEMENTS
- ALL EXPOSED EXTERNAL CORNERS OF CONCRETE TO BE TOOLED EDGE, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL REFER TO DRAWINGS OF OTHER TRADES AND VENDOR DRAWINGS FOR EMBEDDED ITEMS AND RECESSES.
- CONTRACTOR SHALL VERIFY ALL SIZES AND LOCATIONS OF ALL ELECTRICAL OPENINGS AND EQUIPMENT PADS WITH THE ELECTRICAL OPENINGS AND EQUIPMENT DETAIL SHOWN ON DRAWINGS. CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE THE PROPER SIZES AND SLEEVES FOR PROPER DISTRIBUTION FOR ALL UTILITIES



FOUNDATION SECTION
F-2
SCALE 3/4"=1'-0" (BASED ON 22x34 PAPER SIZE)
SCALE 3/8"=1'-0" (BASED ON 11x17 PAPER SIZE)

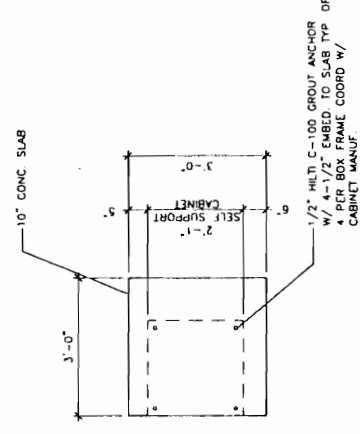
ANTENNA INFORMATION

SECTOR	MARKING METHOD: COLORED BAND	MARKING METHOD: NUMBER OF BANDS	AZIMUTH IN DEGREES	MODEL	QTY.	RADIATION CENTER
NORTH-EAST	RED	1	0°	26509890	1	116'-0"
SOUTH-EAST	BLUE	2	120°	26509890	1	116'-0"
SOUTH-WEST	WHITE	3	240°	26509890	1	116'-0"
FUTURE	GREEN	4	TBD	TBD	1	TBD

CPS ANTENNA LOCATION OPTIONS: (1) EQUIPMENT CABINET, (2) ANTENNA MAST, (3) H-FRAME. FIELD VERIFY.

- LABEL MARKINGS SHALL BE PLACED AT:
- WITHIN 12" OF CABLE AT BOTH ENDS
 - AT/NEAR TOWER MGB
 - EITHER PRIOR TO ENTRY INTO THE CABINET FOR A CABLE SUPPORT BRIDGE.
- * COORDINATE BACKHAUL INSTALLATION WITH FINAL EMISS

ANTENNA INFORMATION
E-2
NOT TO SCALE



FOUNDATION PLAN
G-2
SCALE 3/4"=1'-0" (BASED ON 22x34 PAPER SIZE)
SCALE 3/8"=1'-0" (BASED ON 11x17 PAPER SIZE)

100% SOCIAL RESPONSIBILITY
100% LOCAL SOURCES
100% LOCAL EMPLOYMENT
100% LOCAL INVESTMENT
100% LOCAL REVENUE
100% LOCAL COMMUNITY IMPROVEMENT
100% LOCAL ECONOMIC GROWTH
100% LOCAL ENVIRONMENTAL PROTECTION
100% LOCAL CULTURAL HERITAGE PRESERVATION
100% LOCAL INFRASTRUCTURE DEVELOPMENT
100% LOCAL EDUCATION SUPPORT
100% LOCAL HEALTHCARE SUPPORT
100% LOCAL ARTS AND CULTURE SUPPORT
100% LOCAL SPORTS AND RECREATION SUPPORT
100% LOCAL SENIORS SUPPORT
100% LOCAL YOUTH SUPPORT
100% LOCAL VETERANS SUPPORT
100% LOCAL MILITARY SUPPORT
100% LOCAL POLICE AND FIRE SUPPORT
100% LOCAL PUBLIC WORKS SUPPORT
100% LOCAL TRANSPORTATION SUPPORT
100% LOCAL ENERGY SUPPORT
100% LOCAL WATER AND WASTE SUPPORT
100% LOCAL HOUSING SUPPORT
100% LOCAL AFFORDABLE HOUSING SUPPORT
100% LOCAL COMMUNITY DEVELOPMENT SUPPORT
100% LOCAL ECONOMIC DEVELOPMENT SUPPORT
100% LOCAL INNOVATION SUPPORT
100% LOCAL SKILL DEVELOPMENT SUPPORT
100% LOCAL ENTREPRENEURSHIP SUPPORT
100% LOCAL LEADERSHIP DEVELOPMENT SUPPORT
100% LOCAL NETWORKING SUPPORT
100% LOCAL COLLABORATION SUPPORT
100% LOCAL PARTNERSHIP SUPPORT
100% LOCAL ALLIANCE SUPPORT
100% LOCAL COOPERATION SUPPORT
100% LOCAL COMMUNITY ENGAGEMENT SUPPORT
100% LOCAL PUBLIC PARTICIPATION SUPPORT
100% LOCAL TRANSPARENCY SUPPORT
100% LOCAL ACCOUNTABILITY SUPPORT
100% LOCAL ETHICAL BUSINESS PRACTICES SUPPORT
100% LOCAL SUSTAINABLE BUSINESS PRACTICES SUPPORT
100% LOCAL RESILIENT BUSINESS PRACTICES SUPPORT
100% LOCAL ADAPTIVE BUSINESS PRACTICES SUPPORT
100% LOCAL INCLUSIVE BUSINESS PRACTICES SUPPORT
100% LOCAL JUST BUSINESS PRACTICES SUPPORT
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100% LOCAL DIVERSITY BUSINESS PRACTICES SUPPORT
100% LOCAL INCLUSION BUSINESS PRACTICES SUPPORT
100% LOCAL BELONGING BUSINESS PRACTICES SUPPORT
100% LOCAL WELL-BEING BUSINESS PRACTICES SUPPORT
100% LOCAL THRIVING BUSINESS PRACTICES SUPPORT
100% LOCAL RESILIENCE BUSINESS PRACTICES SUPPORT
100% LOCAL ADAPTABILITY BUSINESS PRACTICES SUPPORT
100% LOCAL INNOVATION BUSINESS PRACTICES SUPPORT
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100% LOCAL INCLUSION BUSINESS PRACTICES SUPPORT
100% LOCAL BELONGING BUSINESS PRACTICES SUPPORT
100% LOCAL WELL-BEING BUSINESS PRACTICES SUPPORT
100% LOCAL THRIVING BUSINESS PRACTICES SUPPORT



10/27/05

No.	Date	Action
0	10/27/05	ISSUED FOR PERMIT
A	10/18/05	ISSUED FOR CLIENT REVIEW

MORRISON HERSFIELD
68 PERIMETER CENTER EAST, SUITE 800
CARRBORO, NC 27510
TEL: 770.319.8500 FAX: 770.319.8501
www.morrisonhersfield.com

Client: **clearwire**
515 SOUTH GREENSBORO STREET
CARRBORO, NC 27510

Project: **NC-RAL105**
515 SOUTH GREENSBORO STREET
CARRBORO, NC 27510

Drawing Title: **EQUIPMENT PLAN**

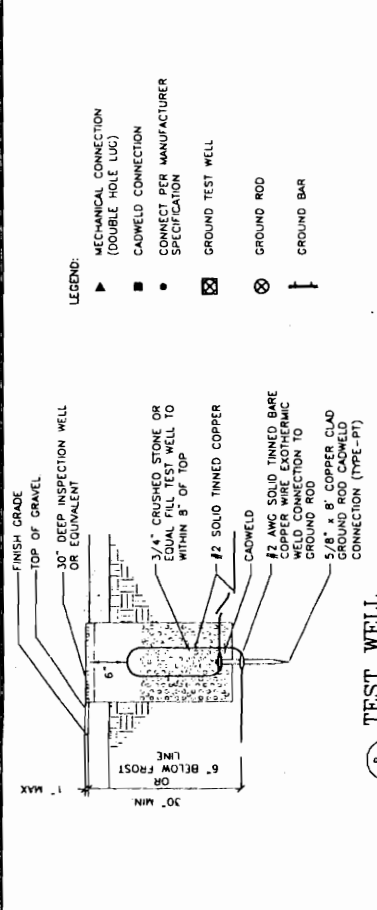
Scale: As shown
Project No: 60531.21, MC-RAL105
Date: 10/18/05
Drawn By: NDW
Checked By: NRS
Project Manager: [blank]
Client Approval: [blank]

Issue No: 0
Drawing No: A-2

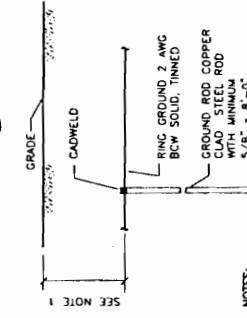
PANEL "PF" 1		INTERUMING CAPACITY		TYPE MARKS		KCB	
NO.	DESCRIPTION	100 AC	200 AC	ADDITIONAL	MARKS	1000	2000
64	480V 3PH 3W				PF01	3	30/77
65	480V 3PH 3W				PF02	3	30/77
66	480V 3PH 3W				PF03	3	30/77
67	480V 3PH 3W				PF04	3	30/77
68	480V 3PH 3W				PF05	3	30/77
69	480V 3PH 3W				PF06	3	30/77
70	480V 3PH 3W				PF07	3	30/77
71	480V 3PH 3W				PF08	3	30/77
72	480V 3PH 3W				PF09	3	30/77
73	480V 3PH 3W				PF10	3	30/77
74	480V 3PH 3W				PF11	3	30/77
75	480V 3PH 3W				PF12	3	30/77
76	480V 3PH 3W				PF13	3	30/77
77	480V 3PH 3W				PF14	3	30/77
78	480V 3PH 3W				PF15	3	30/77
79	480V 3PH 3W				PF16	3	30/77
80	480V 3PH 3W				PF17	3	30/77
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82	480V 3PH 3W				PF19	3	30/77
83	480V 3PH 3W				PF20	3	30/77
84	480V 3PH 3W				PF21	3	30/77
85	480V 3PH 3W				PF22	3	30/77
86	480V 3PH 3W				PF23	3	30/77
87	480V 3PH 3W				PF24	3	30/77
88	480V 3PH 3W				PF25	3	30/77
89	480V 3PH 3W				PF26	3	30/77
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91	480V 3PH 3W				PF28	3	30/77
92	480V 3PH 3W				PF29	3	30/77
93	480V 3PH 3W				PF30	3	30/77
94	480V 3PH 3W				PF31	3	30/77
95	480V 3PH 3W				PF32	3	30/77
96	480V 3PH 3W				PF33	3	30/77
97	480V 3PH 3W				PF34	3	30/77
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99	480V 3PH 3W				PF36	3	30/77
100	480V 3PH 3W				PF37	3	30/77
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103	480V 3PH 3W				PF40	3	30/77
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121	480V 3PH 3W				PF58	3	30/77
122	480V 3PH 3W				PF59	3	30/77
123	480V 3PH 3W				PF60	3	30/77
124	480V 3PH 3W				PF61	3	30/77
125	480V 3PH 3W				PF62	3	30/77
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133	480V 3PH 3W				PF70	3	30/77
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135	480V 3PH 3W				PF72	3	30/77
136	480V 3PH 3W				PF73	3	30/77
137	480V 3PH 3W				PF74	3	30/77
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139	480V 3PH 3W				PF76	3	30/77
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141	480V 3PH 3W				PF78	3	30/77
142	480V 3PH 3W				PF79	3	30/77
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145	480V 3PH 3W				PF82	3	30/77
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147	480V 3PH 3W				PF84	3	30/77
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153	480V 3PH 3W				PF90	3	30/77
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155	480V 3PH 3W				PF92	3	30/77
156	480V 3PH 3W				PF93	3	30/77
157	480V 3PH 3W				PF94	3	30/77
158	480V 3PH 3W				PF95	3	30/77
159	480V 3PH 3W				PF96	3	30/77
160	480V 3PH 3W				PF97	3	30/77
161	480V 3PH 3W				PF98	3	30/77
162	480V 3PH 3W				PF99	3	30/77
163	480V 3PH 3W				PF100	3	30/77

NOTE 1 - LOAD PROVIDED BY CABINET MANUFACTURER. COORDINATE EXACT LOAD BY CLEARWIRE AND CABINET MANUFACTURER WITH MORRISON HERSHFIELD ENGINEERING IN CASE OF DISCREPANCY.

PANEL SCHEDULE
NOT TO SCALE

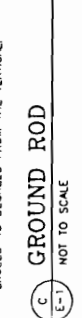


TEST WELL
NOT TO SCALE



GROUND ROD
NOT TO SCALE

NOTES:
1. GROUND LINE TO BE A MIN OF 30" BELOW GRADE OR 6" BELOW FROST LINE, WHICHEVER IS DEEPER.
2. PROCEED FROM THE VERTICAL, NOT TO EXCEED 45 DEGREES FROM THE VERTICAL.



CONDUIT TRENCH
NOT TO SCALE

LEGEND:

- ▲ MECHANICAL CONNECTION (DOUBLE HOLE LUG)
- CAOWELD CONNECTION
- CONNECT PER MANUFACTURER SPECIFICATION
- ⊠ GROUND TEST WELL
- ⊗ GROUND ROD
- ⊥ GROUND BAR

CLIENT:
clearwire
5405 LAKE WASHINGTON
SUITE 100
SPRINGLAND, WA 98033
425.218.7800

PROJECT:
515 SOUTH GREENSBORO STREET
CARRBORO, NC 27510

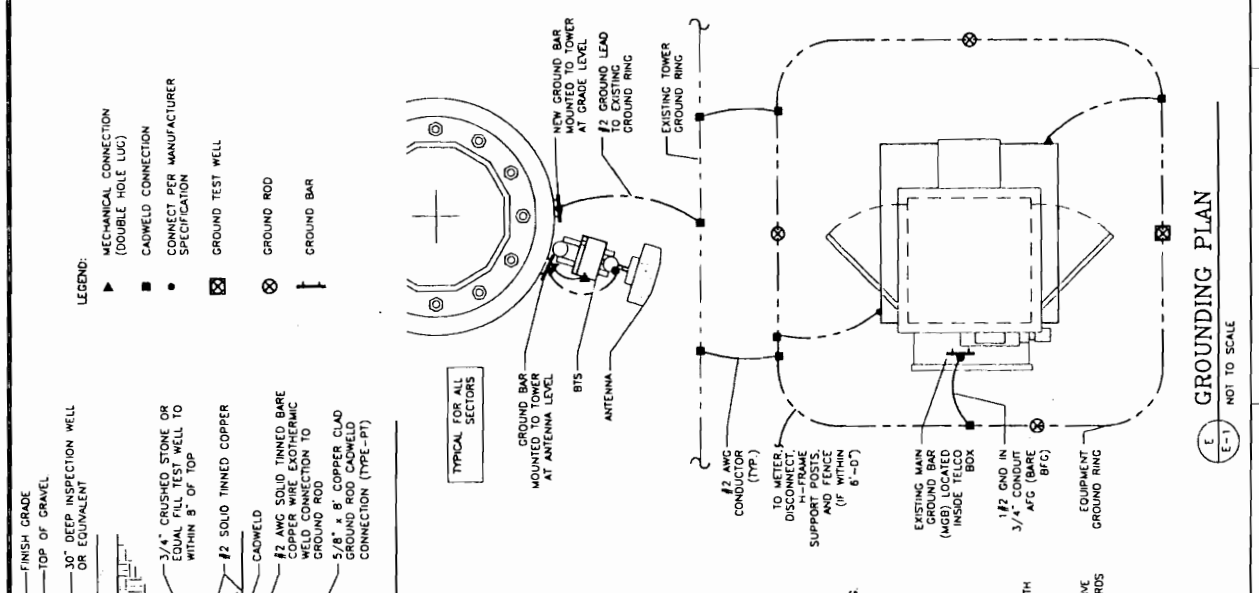
Drawing Title:
GROUNDING/ELECTRICAL DETAILS

NO. DATE ACTION

1	10/27/05	ISSUED FOR PERMIT
2	10/27/05	ISSUED FOR PERMIT
3	10/16/05	ISSUED FOR CLIENT REVIEW

MORRISON HERSHFIELD
48 PERIMETER CENTER EAST, SUITE 800
ATLANTA, GA 30346
Tel: 770.380.8600
www.morrisonhershfield.com

Project No: 6053121 NC-RAL105
Date: 10/18/05
Checked By: J.R.S.
Project Manager: Client Approval
Issue No: 0
Drawing No: E-1



GROUNDING PLAN
NOT TO SCALE

LEGEND:

- ▲ MECHANICAL CONNECTION (DOUBLE HOLE LUG)
- CAOWELD CONNECTION
- CONNECT PER MANUFACTURER SPECIFICATION
- ⊠ GROUND TEST WELL
- ⊗ GROUND ROD
- ⊥ GROUND BAR

CLIENT:
clearwire
5405 LAKE WASHINGTON
SUITE 100
SPRINGLAND, WA 98033
425.218.7800

PROJECT:
515 SOUTH GREENSBORO STREET
CARRBORO, NC 27510

Drawing Title:
GROUNDING/ELECTRICAL DETAILS

NO. DATE ACTION

1	10/27/05	ISSUED FOR PERMIT
2	10/27/05	ISSUED FOR PERMIT
3	10/16/05	ISSUED FOR CLIENT REVIEW

MORRISON HERSHFIELD
48 PERIMETER CENTER EAST, SUITE 800
ATLANTA, GA 30346
Tel: 770.380.8600
www.morrisonhershfield.com

Project No: 6053121 NC-RAL105
Date: 10/18/05
Checked By: J.R.S.
Project Manager: Client Approval
Issue No: 0
Drawing No: E-1

STAFF REPORT

TO: Board of Aldermen

DATE: March 28th, 2006

PROJECT: Minor Modification to Conditional Use Permit for Cellular Tower at 515 South Greensboro Street

APPLICANT: Clearwire, LLC- David Hockey (Agent for Applicant)
796 Johnnie Dodds Blvd.
Mount Pleasant, SC 29464

PURPOSE: The proposed modification will consist of : installation of 3 foot by 3 foot concrete pad for a cabinet at the base of the tower and installation of antenna array at a height of 116 feet to the tower.

EXISTING ZONING: M-1 (Light Manufacturing)

TAX MAP NUMBER: 7.100.C.33A

LOCATION: 515 South Greensboro Street

TRACT SIZE: Approximately 4.38 acres (leased area = .08 acres or 336 square feet)

EXISTING LAND USE: Storage Facility- #10.210
Towers and Antennas more than 50 feet tall- #18.200

PROPOSED LAND USE: No change

SURROUNDING LAND USES: North: M-1, Commercial Use
South: R-7.5, Single Family Residential
East: Chapel Hill Planning Jurisdiction, Single Family Residential
West: M-1, Commercial Use

ZONING HISTORY: B1-G (General Business), 1986
O-I (Office/Assembly), 1973

RELEVANT ORDINANCE SECTIONS: 15-146 Table of Permissible Uses
15-64 Amendment to and Modification of Permits

15-176 Towers and Antennas

ANALYSIS

Background

The Board of Aldermen granted a conditional use permit (**see attachment F**) on November 10th, 1992 to Sprint Cellular, which allowed them to erect and operate a 180 foot tall cellular telecommunication tower at the rear of the Village Self Storage facility at 515 South Greensboro Street. The original CUP included a condition (#10), which indicated that the tower was approved as presented at the public hearing and that any changes to the tower would require a modification to the existing CUP via a public hearing.

The current request to the telecommunication tower will allow the installation of 3 foot by 3 foot concrete pad for a cabinet at the base of the tower and installation of antenna array at a height of 116 feet to the tower.

Structural Engineering Report

The applicant has provided a structural engineering report dealing with the additional antennas (**see attachment D**)

The Clearwire antenna addition will consist of three sectors with one future sector (**see attachment B**) at a height of 116 feet.

Power Output

Per condition #10(b) of the CUP, the Board may request a 2nd opinion by any expert with regard to potential health issues. In this case, the Town of Carrboro Zoning Division consults with an electrical engineer from Duke University dealing with electromagnetic safety and per his review he concluded due to a very low ground-level radiation of this proposed addition to the tower that a more in depth review was not necessary (**see attachment E**).

Recommendation

The staff recommends that the Board of Aldermen adopt the attached resolution approving the Minor Modification to the 515 South Greensboro Street Cellular Tower Conditional Use Permit, which would allow the installation of 3 foot by 3 foot concrete pad for a cabinet at the base of the tower and installation of antenna array at a height of 116 feet to the tower.



Structural Analysis Report

Structure : Existing 180 ft Valmont Monopole
ATC Site Name : Carrboro NC, NC
ATC Site Number : 97443
Proposed Carrier : Clearwire
Carrier Site Name : Carrboro NC
Carrier Site Number : NC-RAL105
County : Orange
Eng. Number : 24506021
Date : October 06, 2005

ATC ENGINEERING
100 Regency Forest Ste 400
Cary, NC 27511
Phone: (919-468-0112)

Eng. Number 24506021

October 6, 2005

Page 1

Introduction

The purpose of this report is to summarize results of the structural analysis performed on the existing 180 ft Valmont Monopole located at 515 S. Greensboro St. Carrboro NC, Orange County (ATC site #97443). The tower was originally designed and manufactured by Valmont (Drawing #DC1175Z dated December 3, 1992) with foundation modifications as dated 10/21/03. Current modifications per ATC Job Numbers 73120098 and 7312099 are also included in this analysis.

Analysis

The existing tower was analyzed using Semaan Engineering Solutions, Inc., Software. The analysis assumes that the tower is in good, undamaged, and non-corroded condition. A 5% overstress is allowed in the existing structural members to account for program variances.

Basic wind speed: 75.0 mph /90 mph 3-sec gust
 Radial Ice: 0.75" w/ 40mph
 Code: EIA/TIA-222-F/2002 NC Building Code

Antenna Loads

The following antenna loads were used in the tower analysis.

Existing Antennas

Elev. (ft)	Qty	Antennas	Mount	Coax	Carrier
178.0	12	Decibel DB844H90	(3) T-Arm Mount	(12) 1-5/8"	Alltel
161.0	3	Decibel DB978G85-M	(3) Standoff Mount	(3) 1-5/8"	
151.0	6	Ericsson KRY 112 71/x	(3) T-Arm Mount	-	AT&T
	4	Allgon 7262.02	(3) T-Arm Mount	(4) 1-5/8"	
	8	Allgon 7250.03	(3) T-Arm Mount	(8) 1-5/8"	
141.0	12	Decibel DB848F90	(3) T-Frame Mount	(12) 7/8"	Nextel
131.0	6	ClearGain DD1900	(3) T-Arm Mount	-	Cingular
	12	Decibel 932QDG90T2E-M		(12) 1-5/8"	

Proposed Antennas

Elev. (ft)	Qty	Antennas	Mount	Coax	Carrier
121.0	2	Radiowaves HP2-23	Pipe Mounts	(4) 1/2"	Clearwire
116.0	4	NextNet BTS-2500	(3) T-ARMS	(5) 5/16"	
	4	Stella Doradus 26 SD9890			
	1	Trimble Acutime 2000 GPS			

All transmission lines are assumed running inside of pole shaft with the exception of those for the proposed loading.

Eng. Number 24506021

October 6, 2005

Page 2

Results

The existing 180 ft Valmont Monopole with the above mentioned modifications is structurally acceptable per EIA/TIA-222-F and North Carolina Building Codes standards as modified .

The maximum structure usage is: 96%

Pole Reactions	Original Design Reactions	Current Analysis Reactions	% Of Design
Moment (ft-kips)	2,999.00	4,295.3	143.3
Shear (kips)	27.90	37.3	134.0

With the addition of the proposed antennas, the structure base reactions resulting from this analysis exceed the ones shown on the original structure drawings. The existing foundation along with the previous modifications mentioned above were reviewed and found to be adequate for the new reactions associated with the proposed antennas.

Conclusion

Based on the analysis results, the existing structure meets the requirements per the EIA/TIA-222-F and the 2002 NC Building Code standards for a basic wind speed of a basic wind speed of 75 mph and 90 mph, respectively.

If you have any questions or require additional information, please call (919) 466-5536.

Submitted by:

Reviewed by:

Brent Lockamy, P.E.
Project Engineer

Wm. E. Garrett, PE
Director of Engineering

James Thomas

From: W. T. Joines [wtj@ee.duke.edu]
Sent: Wednesday, February 15, 2006 12:03 PM
To: James Thomas
Subject: RE: Review of cell tower additions....

Mr. Thomas:

Unless you want me to do so, I do not think that a more extensive review is necessary. The Clearwire additions add very little to the total ground-level radiation of approximately 0.006 mW/cm².

William T. Joines, Ph.D.
Professor

-----Original Message-----

From: James Thomas [mailto:JThomas@ci.carrboro.nc.us]
Sent: Wednesday, February 15, 2006 10:26 AM
To: W. T. Joines
Subject: Review of cell tower additions....

Mr. Joines,
I forwarded the additional information to you the other day and do not know if you have had a chance to review it to date. Either way, the applicant is wishing to move forward with the request. Do you want me to send you all the information that I have that you will need to do your review. As stated before, this is co-location for internet access on four towers in our Planning Jurisdiction. Let me know. Thanks.

James Thomas, Planner/Zoning Development Specialist
Town of Carrboro Planning Department
301 West Main Street
Carrboro, NC 27510
(919)918-7335 Phone
(919)942-1720 Fax
jthomas@townofcarrboro.org

Town of Carrboro Web Site: <http://www.townofcarrboro.org>

Pursuant to North Carolina General Statutes, Chapter 132, et.seq., this electronic mail message and any attachments hereto, as well as any electronic mail message(s) that may be sent in response to it *may* be considered public record and as such are subject to requests for review.

Return to: Zoning Division, Town of Carrboro, P. O. Box 829, Carrboro, N. C.

NORTH CAROLINA

ORANGE COUNTY

BOOK 1064 PAGE 103

TOWN OF CARRBORO

FILED
21 DEC 1992 at COURTESY
Book 1064, Page 103-105
Betty June Hayes,
Register of Deeds,
Orange County, N. C.

CONDITIONAL USE PERMIT GRANTED

On the date(s) listed below, the Board of Aldermen of the Town of Carrboro met and held a public hearing to consider the following application:

Applicant: The Bernstein Group, Inc.

Owner: Village Self Storage (Grey B. Moody and James A. Fountain, Jr.)

Property Location: 515 South Greensboro Street
(Street Address)

Tax Map 100 Block C Lot 33 *9778-BB-8470*

Proposed Use of Property: To allow construction of a 180 foot self supporting monopole, outfitted with two whip antennas and six panel antennas, and a 12 foot x 28 foot equipment shelter.

Carrboro Land Use Ordinance Use Category: 18.200

Meeting Dates: October 27, 1992 and November 10, 1992

Having heard all the evidence and arguments presented at the hearing, the Board finds that the application is complete, that the application complies with all of the applicable requirements of the Carrboro Land Use Ordinance for the development proposed, and that therefore the application to make use of the above described property for the purpose indicated is hereby approved, subject to all applicable provisions of the Land Use Ordinance and the following conditions:

1) The applicant shall complete the development strictly in accordance with the plans submitted to and approved by this Board, a copy of which is filed in the Carrboro Town Hall. Any deviations from or changes in these plans must be pointed out specifically to the administrator in writing and specific written approval obtained as provided in Section 15-64 of the Land Use Ordinance.

2) If any of the conditions affixed hereto or any part thereof shall be held invalid or void, then this permit shall be void and of no effect.

3) Additional screening by eleven (11) Burford Hollies shall be placed along the property line that is adjacent to the school (eastern side). Also, the slats that will be placed in the existing eight-foot high chain link fence shall be the brown color as presented by the applicant.

4) The facility shall be a cellular transmitting and receiving facility that would serve the Town of Carrboro. The facility will consist of a 12' x 28' equipment shelter used to house several low-power radio transmitters, and a 180' self supporting monopole, outfitted with two whip antennas and six panel antennas. The panel antennas will be 3' long and 1' wide. The monopole will be approximately 6' in diameter at the base, tapering to a significantly smaller diameter at the top. The pole will be constructed of solid galvanized steel, and will require no lighting or painting. The entire facility will be enclosed and secured by

RECEIVED
JAN 07 1993
TOWN OF CARRBORO
ZONING DIVISION

a 6' high chain link fence. The terms of the Land Use Permit for construction of this tower will specifically provide that no additional antennas or microwave dish antennas may be attached to the pole without the prior approval of the Town of Carrboro. A photograph of the typical monopole construction utilized by Centel Cellular was submitted to the Board of Aldermen for consideration at the Board's meeting held on November 10, 1992.

5) Prior to construction, the applicant shall submit construction drawings of the entire tower as well as any antennas or other tower parts to the town staff for approval. Such submission shall take place within sufficient time for the staff to review the construction drawings. Any construction drawings shall include, but not be limited to, the normal requirements for construction drawings of such towers, as well as a list of the construction materials for the tower itself.

6) Prior to construction, the applicant shall submit studies to the town staff which will indicate that the monopole is not subject to collapse.

7) The applicant shall paint the monopole if the town asks him to do so.

8) The application will be amended in general in accordance with the amended proposal to erect a cellular facility as submitted to the Board on November 10, 1992 and as illustrated in a four-page document. As indicated in this document, the pole will not have any lighting on it at all. Should future federal requirements state that lighting should be placed on the tower, the applicant will be required to come back before the Board of Aldermen for a public hearing on the nature of the lighting and for approval of lighting.

9) No further height will be added to the monopole, nor will any other structure be allowed on the site to increase the height of the tower.

10) No other antennas or other change will be made to the monopole as presented to the Board. If the applicant/owner wishes to add any antennas or any other instrument to the tower itself, the following conditions shall be met.

- a. A public hearing with notification sent to all property owners and residents living within 200 feet of the tower site, plus the usual notice, will be held.
- b. The town will have adequate opportunity to request a second opinion by an expert chosen by Board regarding all health issues.

11) The applicant, as well as any subsequent purchasers or lessees of the property and equipment, as well as any servants, employees, officers and assignees of the applicant, shall take annual measurements at the tower site to measure power densities and radio-frequency emissions and report these measurements to the town for its review.

This permit shall automatically expire within two years of the date of issuance if the use has not commenced or less than 10 percent (10%) of total cost of construction has been completed or there has been non-compliance with any other requirements of Section 15-62 of the Carrboro Land Use Ordinance.

If this permit authorizes development on a tract of land in excess of one acre, nothing authorized by the permit may be done until the property owner properly executes and returns to the Town of Carrboro the attached acknowledgment of the issuance of this permit so that the town may have it recorded in the Orange County Registry.